

HIDEOUT, UTAH TOWN COUNCIL REGULAR MEETING

May 28, 2020

Amended Agenda

PUBLIC NOTICE IS HEREBY GIVEN that the Town Council of Hideout, Utah will hold a special meeting electronically for the purposes and at the times as described below on Thursday, May 28, 2020

All public meetings are available via ZOOM conference call and net meeting. Interested parties may join by dialing in as follows:

Meeting URL: https://zoom.us/j/4356594739 To join by telephone dial: US: +1 408 638 0986

Meeting ID: 435 659 4739

Special Meeting ELECTRONIC ONLY – NO ACCOMMODATION FOR IN-PERSON ATTENDANCE 6:00 PM

- I. Call to Order
- II. Roll Call
- III. Agenda Items
 - 1. Consideration and possible approval of an amendment to the Master Development Agreement for Deer Springs Community
 - 2. Public Hearing discussion and possible approval of Deer Springs Phase 1 plat amendment
 - <u>3.</u> Public Hearing discussion and possible approval of Lakeview Estates preliminary application
 - 4. Continued Public Hearing: consider adopting Ordinance 2020-05 repealing and replacing Titles 3, 10, 11 and 12 of the Town Code
 - Discussion and possible adoption of an ordinance to amend the Town Council regular meeting schedule
 - <u>6.</u> Discussion regarding Town recycling efforts
 - 7. Discussion regarding Creekside Estates
 - 8. Discussion regarding status of the Town's COVID-19 safety practices
- IV. Public Input Floor open for any attendee to speak on items not listed on the agenda
- V. Meeting Adjournment

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Mayor or Town Clerk at 435-659-4739 at least 24 hours prior to the meeting.

HIDEOUT TOWN COUNCIL

10860 N. Hideout Trail Hideout, UT 84036 Phone: 435-659-4739

File Attachments for Item:

Consideration and possible approval of an amendment to the Master Development Agreement for Deer Springs Community

WHEN RECORDED, RETURN TO:

Town of Hideout

Attn: Town Clerk

10860 N. Hideout Trail

Hideout, Utah 84036

FIRST AMENDMENT TO THE MASTER DEVELOPMENT AGREEMENT FOR DEER

SPRINGS COMMUNITY

THIS FIRST AMENDMENT TO THE MASTER DEVELOPMENT AGREEMENT FOR

DEER SPRINGS COMMUNITY ("First Amendment") is made and entered as of the date set

forth below, by and between the Town of Hideout, a Utah municipal corporation ("Town"), and

Western States Ventures, L.L.C., a Utah limited liability company ("**Developer**").

RECITALS

A. Developer and the Town entered into that certain Master Development Agreement for

Deer Springs Community ("MDA") which was recorded on August 6, 2018 as Entry No. 454483

in the official books and records of the Wasatch County Recorder. The MDA governs and

encumbers the real property shown on **Exhibit A** attached hereto ("**Property**").

B. Developer has conveyed the Property to Holmes Western Deer Springs LLC

("Owner"), but Developer has not assigned the rights, duties, and obligations of Developer under

the MDA.

C. The Town and Developer desire to amend the MDA by making certain modifications

to the terms and conditions thereof. Owner acknowledges and accepts this Amendment as a

modification to the terms of the MDA which are binding on the Property.

D. Pursuant to Section 25 of the MDA, the parties can amend the terms of the MDA by

means of a written document signed by the Town and Developer.

1

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Town and Developer hereby agree to the following:

AMENDMENT

- 1. **Recitals Incorporated.** The foregoing recitals are incorporated into, and made part of, this First Amendment.
- 2. **Definitions.** Capitalized terms used in this First Amendment but not otherwise defined shall have the meaning set forth in the MDA, if a meaning is provided.
- 3. Amendment to Phasing Plan. The Phasing Map, attached as Exhibit B-2 to the MDA, is hereby deleted in its entirety and replaced with Exhibit B-2.1, attached to this First Amendment. For all purposes under the MDA, references to the Phasing Map shall, hereafter, mean and refer to Exhibit B-2.1, attached hereto. For the avoidance of doubt, sixteen (16) of the single family home sites which were shown within Phase 1 on Exhibit B-2 (the original Phasing Map) will be moved to what is now Phase 7 as shown Exhibit B-2.1, attached hereto. Likewise, the twenty-eight (28) townhome sites which were shown within Phase 5 on Exhibit B-2 (the original Phasing Map) will be distributed among what are now referred to as Phase 1 and Phase 3 as shown on Exhibit B-2.1. The revised Phasing Map shown as Exhibit B-2.1 also contains other changes to the distribution of units among the Phases as compared to Exhibit B-2 (the original Phasing Map). However, the Maximum Residential Units have not changed, and Developer will construct no more than one hundred eighty-eight (188) Townhome units and no more than sixty (60) detached single family units. Notwithstanding the foregoing, when Developer submits final Plats for the Project, Developer may elect to pursue less density for each phase than is currently illustrated on Exhibit B-2.1.

- 4. Parks. Notwithstanding anything in Section 7.6 of the MDA to the contrary, the parties agree that the two (2) parks identified in the MDA will be completed and dedicated (either to the Town or to the HOA as provided in Section 7.6) at or prior to the time the final plat for Phase 3 of the Project is recorded. No certificate of occupancy will be issued for a Residential Dwelling Unit in Phase 3, or in any future phase within the Project, until construction of the Parks is complete and they have been dedicated, as provided in Section 7.6. Except as specifically modified by this Amendment, all provisions of Section 7.6 and any other provisions of the MDA addressing parks will remain in full force and effect.
- 5. **Screening of Townhome Lots.** In connection with the relocation of certain Townhome sites to Phase 1 and Phase 3, as identified above, Developer will take reasonable steps to ensure that such Townhome lots are screened from Highway 248. Such screening may include landscaping berms, trees or shrubbery, or fences consistent with the Design Guidelines attached to the MDA as Exhibit E-1. Developer's screening plan must be approved as a condition of the Town Council's approval of any amended plat for Phase 1 or Phase 3 identifying Townhomes.
- 6. <u>Maintenance Building</u>. In connection with Developer's construction of the Maintenance Building identified in Section 10.2 of the MDA, Developer will grade an access driveway allowing ingress and egress from a dedicated public street. The driveway need not be paved, but must be constructed, graded, and surfaced in a manner that allows for reasonable four-season maintenance.
- 7. **Approval by Town Council.** This First Amendment has been approved by the Town Council at a duly noticed public meeting.
- 8. **Scope of this First Amendment.** Other than a specifically amended herein by this First Amendment, the terms and conditions of the MDA shall remain in full force and effect.

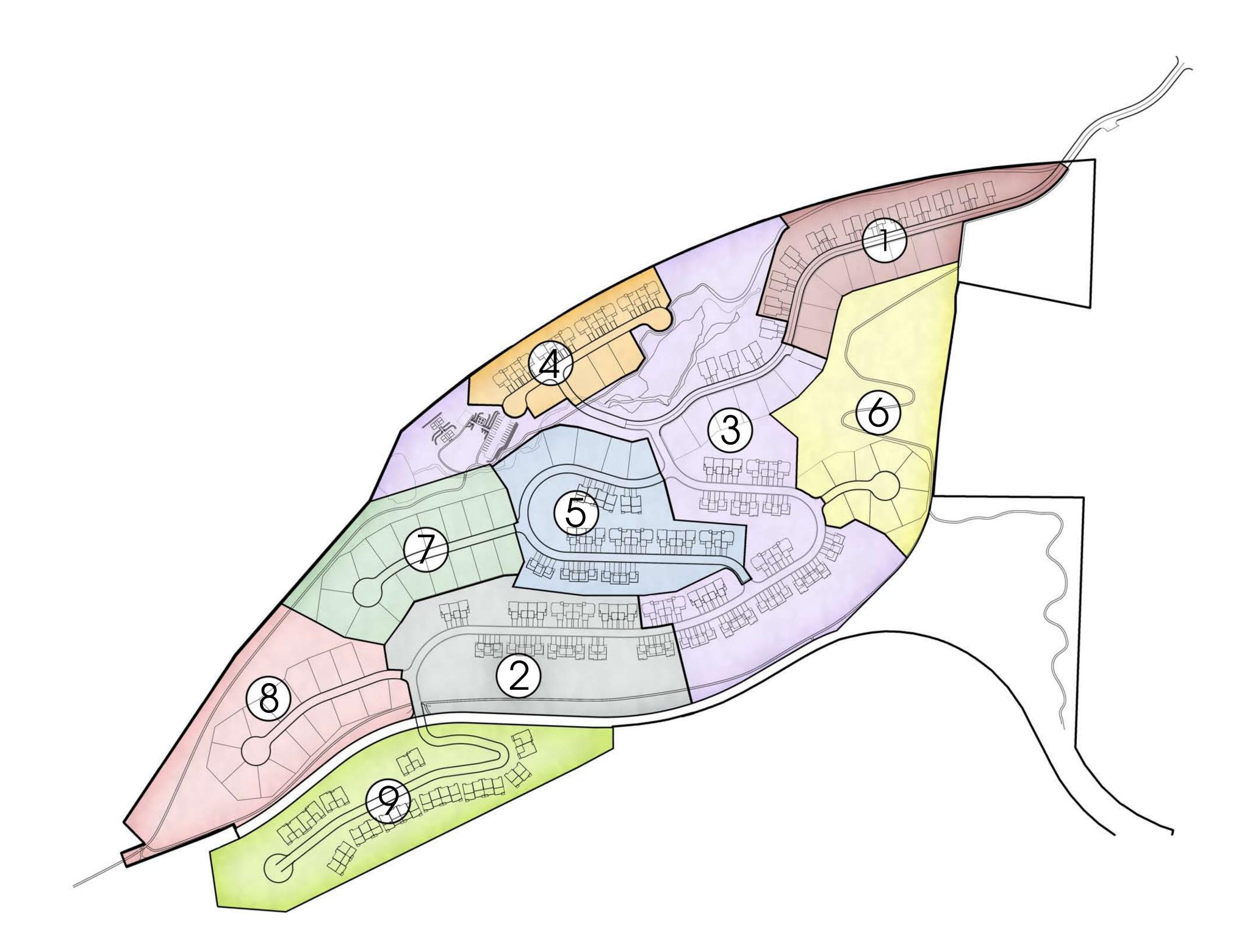
IN WITNESS WHEREOF, the parties hereto have executed this Agreement by and through their respective, duly authorized representatives as of the day and year first herein above written.

DEVELOPER	TOWN
Western States Ventures, LLC	Town of Hideout
By:	Ву:
Name:	Name:
Title:	Title:
OWNER	
Holmes Western Deer Springs, LLC	
By:	
Name:	
Title:	
Approved as to form:	Attest:
Town Attorney	Town Clerk
Town Attorney	Town Clerk
TOWN ACKNOWLEDGMENT	
STATE OF UTAH)	
COUNTY OF WASATCH :ss.)	
	, 2020, personally appeared before me duly sworn, did say that he is the Mayor of the Town
of Hideout, a Utah municipal corporation,	and that said instrument was signed in behalf of the and said Mayor acknowledged to me that the Mayor
	NOTARY PUBLIC

DEVELOPER ACKNOWLEDGMENT STATE OF UTAH :ss. COUNTY OF SALT LAKE) On the _____ day of _____, 2020, personally appeared before me who being by me duly sworn, did say that he is the manager of Western States Ventures, LLC, a Utah limited liability company, and that the foregoing instrument was duly authorized by the company at a lawful meeting held by authority of its operating agreement and signed in behalf of said company. NOTARY PUBLIC OWNER ACKNOWLEDGMENT STATE OF UTAH COUNTY OF SALT LAKE On the _____ day of _____, 2020, personally appeared before me _____who being by me duly sworn, did say that he is the manager of Holmes Western Deer Springs, LLC, a Utah limited liability company, and that the foregoing instrument was duly authorized by the company at a lawful meeting held by authority of its operating agreement and signed in behalf of said company. **NOTARY PUBLIC** My Commission Expires: Residing at:

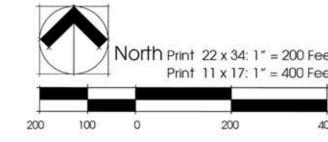
EXHIBIT B-2.1

(Revised Phasing Map)



Phasing Plan . Deer Springs, Hideout, Utah . Holmes Homes

	Single family lots	Tow Uphill Units	nhomes Downhill Units	Total Units
Phase One	9	16	6	31
Phase Two		17	15	32
Phase Three	6	28	28	62
Phase Four	4		16	20
Phase Five	3	17	15	35
Phase Six	9			9
Phase Seven	15			15
Phase Eight	14			14
Phase Nine		20	10	30
Totals	60	98	90	248



29 APRIL 20 Phasina Pla

DEER SPRINGS

Hideout, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



File Attachments for Item:

2. Public Hearing - discussion and possible approval of Deer Springs Phase 1 plat amendment	



Staff Review for Town Council

To: Mayor Phil Rubin

Town Council

From: Thomas Eddington Jr., AICP, ASLA

Town Planner

Re: Deer Springs – Phase I Revision to Plat

Date: May 23, 2020

Submittals: The Applicant submitted a construction plan set dated 23 April 2020. No updated

materials have been received.

Project Background:

- The Applicant submitted updated plans proposing to:
 - o Remove sixteen (16) single-family houses from Phase 1 (the upslope side of Bellaview Way) and replace them with 30 townhouses
 - o The 16 single-family houses would then replace the 30 townhouses in a subsequent Phase. Applicant to confirm which Phase these units will be incorporated into.
 - No change to the overall density of Deer Springs is proposed.
 - No additional changes to the site plan or plat are proposed other than the requirement for additional utility and service connections.
- The plan set is missing:
 - Heights and locations of all proposed retaining walls
 - A structural analysis of these walls must be provided
 - A section of a typical tiered wall must be provided including materials, planting in the horizontal breaks, etc.

Recommended Conditions of Approval for Preliminary Subdivision:

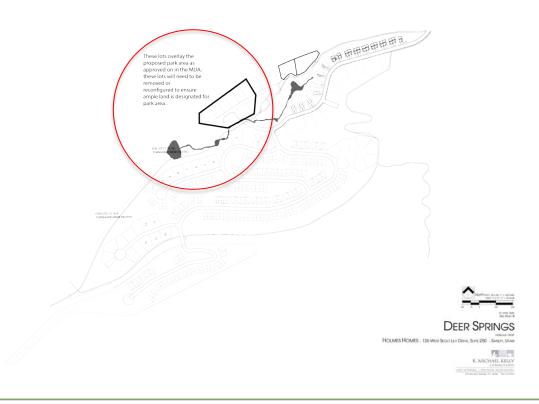
Each drive lane for the entire Deer Springs development is illustrated at 13.5' wide; per recent recommendations by the Town Planner and Engineer, a paved bike lane shall be incorporated into all new rights-of-way construction.



MDA Approved Plan



Proposed Subdivision Plan





- (See prior page) Sheet G1.2: Thirteen (13) single-family units are shown as 'future phase development' at the end of Belaview Way. These units appear to have replaced a portion of the 3.5-acre park proposed with trails, pickle-ball courts, play area, and amphitheater. At the April 9, 2020 meeting, the Applicant noted the original 3.5-acre park will be located in its original location as identified on the plan included with the Master Development Agreement (MDA). The following overlay indicates approximately seven (7) lots that are included for future single-family lots that encroach onto the park area. These proposed future Lots shall be removed from the drawing (prior page) and the park area included with a timeline for construction that corresponds to completion no later than the completion of all Phase I units.
- Open Space: The Applicant must provide a signed commitment to begin construction of the proposed park and open space amenities per the Master Development Agreement (MDA) - Section 7.6 and pp. 90 - 92. An agreement indicating commencement of construction of the open space and park amenities once 33% of the proposed Deer Spring lots (total 248 lots) are completed shall be executed. Completion of the park and open space amenities shall be coordinated to be complete upon the Town awarding Certificates of Occupancy for 75% of the Deer Springs lots (75% of the 248 lots or 186 lots).
- There is an open space section between proposed downhill Lots 36 and 37 that is being reserved for a future right-of-way to Creekside Estates should that development move forward. If that development does not materialize, this land shall remain open space.
- Trails: Proposed trails (and surface type) to be completed as part of Phase I must be included within the plan set. All trails shall be built prior to completion of Phase I construction.
- All retaining wall information must be submitted to the Town Planner and Engineer for approval. If not accepted for approval by the Planner and Engineer, the Applicant agrees to appear before the Town Council for final approval or redesign. Attachment A illustrates a precedent image submitted by the Applicant for the proposed walls.
- Confirmation of Total Units and Type for all phases of Deer Springs: 60 single-family dwelling units and 188 townhouses.



Attachment A





Staff Report – Engineering Department Town of Hideout Planning Commission

Date: April 28, 2020 **Applicant:** Nate Brockbank

Subject: Deer Springs Phase 1 Plans – Amended

Recommendation: Final Approval

BACKGROUND:

Nate Brockbank has submitted the attached amended plan set for the Deer Springs Phase 1 development. This constitutes changes to the project which is already under construction. The application also includes plan sheets dedicated to the placement of utilities at the connection to Jordanelle Parkway.

Application Details

The application consists of modified construction plan set pages which are influenced by the changes to housing type in Phase One as well as the connection to Jordanelle Parkway.

Density Change

The reason for the presentation of this amended plan set is a change in housing on the east side of the Deer Springs main road, Belaview Drive. The original plan involved 16 Single Family Dwelling (SFD) lots on the east side of Belaview Drive and these are replaced by 30 townhomes. The 30 proposed units are shown as consisting of townhome buildings of 1, 2 or 3 units each.

This change in housing units constitutes a change in density for this Phase. In order to verify that the same density is maintained for the whole development, we have required an overall plan of the development as seen on Sheet G1.2. This overall site plan identifies the area northwest of Phase One which had previously consisted 30 townhome units (see the original plan attached) now changed to 16 SFD lots.

The west side of Belaview way in Phase One has not changed from the original plan, consisting of 15 SFD lots with a stub-out for a potential future roadway connection.

Plat Requirements

No plat has been recorded for this development. We understand that the Phase will be divided into two sub-phases 1A and 1B as shown on Sheet G1.2. See table below for Unit/Lot totals:

Phase	Townhomes	SFD Lots	Total Units
1A	22	9	31
1B	8	6	14
Totals	30	15	45

As a condition of approval, the plats should be submitted for review, approved and recorded prior to issuance of Certificates of Occupancy.



Secondary Access Requirements

Secondary access is necessary to this development beyond 30 housing units. A change in density for this phase does not change this requirement. Therefore, a limit of 30 building permits (one for each unit, SFD or single townhome door) can be issued prior to completion of the roadway through to Jordanelle Parkway, which is currently under construction.

Pages PP1.4 through PP1.6 include details on placement of casings under Jordanelle Parkway for future connection. We understand that the placement of these connections and stub-out from Jordanelle Parkway is time-sensitive. However, a full plan set must be submitted and approved prior to construction of the roadway through the Deer Springs development to Jordanelle Parkway

Utility Changes

Construction began on Deer Springs Phase One in 2019 and the sewer, water and gas lines have all been placed to approximately the end of Phase One while curb and gutter and roadbase have been placed to approximately Lot 11 with pavement completed to but not through the housing development.

The change in housing necessitates some change and a significant increase to the water and sewer line utility service laterals. The plan involves the installation of 28 new water/sewer laterals (according to our count). This involves digging in much of the already-prepared roadway subgrade. The emphasis on testing and meeting Town code is therefore added as a condition of approval.

Planning Commission approval is necessary prior to construction of utility changes necessary due to the Phase One density changes.

Outstanding Developer Balance

We recommend that the Town verify that the developer have no outstanding balance with the Town prior to approval.

Townhome Design

The design of the townhomes must be submitted for review and approval by the Design Review Committee (DRC) according to the Master Development Agreement (MDA) prior to issuance of building permits.

RECOMMENDATION:

We can recommend approval of the changes to this plan set and the phasing of the development with no change in density to the overall development under the following Conditions of Approval:

- 1) The developer resolve any outstanding balance due to the Town of Hideout.
- 2) That the full set of construction plans including detail sheets which meet adopted Hideout Standards (JSSD for water and sewer, or APWA). Any other pertinent details should be copied from the original plan set to this construction set.
- 3) That construction of new laterals and backfill of the necessary trenches meet and be tested according to Town specifications.
- 4) The contractor schedule with due notice to have a Town Representative on site to inspect the connections to existing sewer and water main and abandonment of water and sewer laterals.
- 5) The design of the townhomes be reviewed according to the MDA and approved prior to issuance of building permits for the townhomes.
- 6) The development be limited to 30 building permits (1 permit per SFD or townhome door) until the roadway is completed through to the Jordanelle Parkway that is currently under construction.
- 7) That Plats 1A and 1B be submitted for review and be recorded prior to issuance of Certificates of Occupancy.

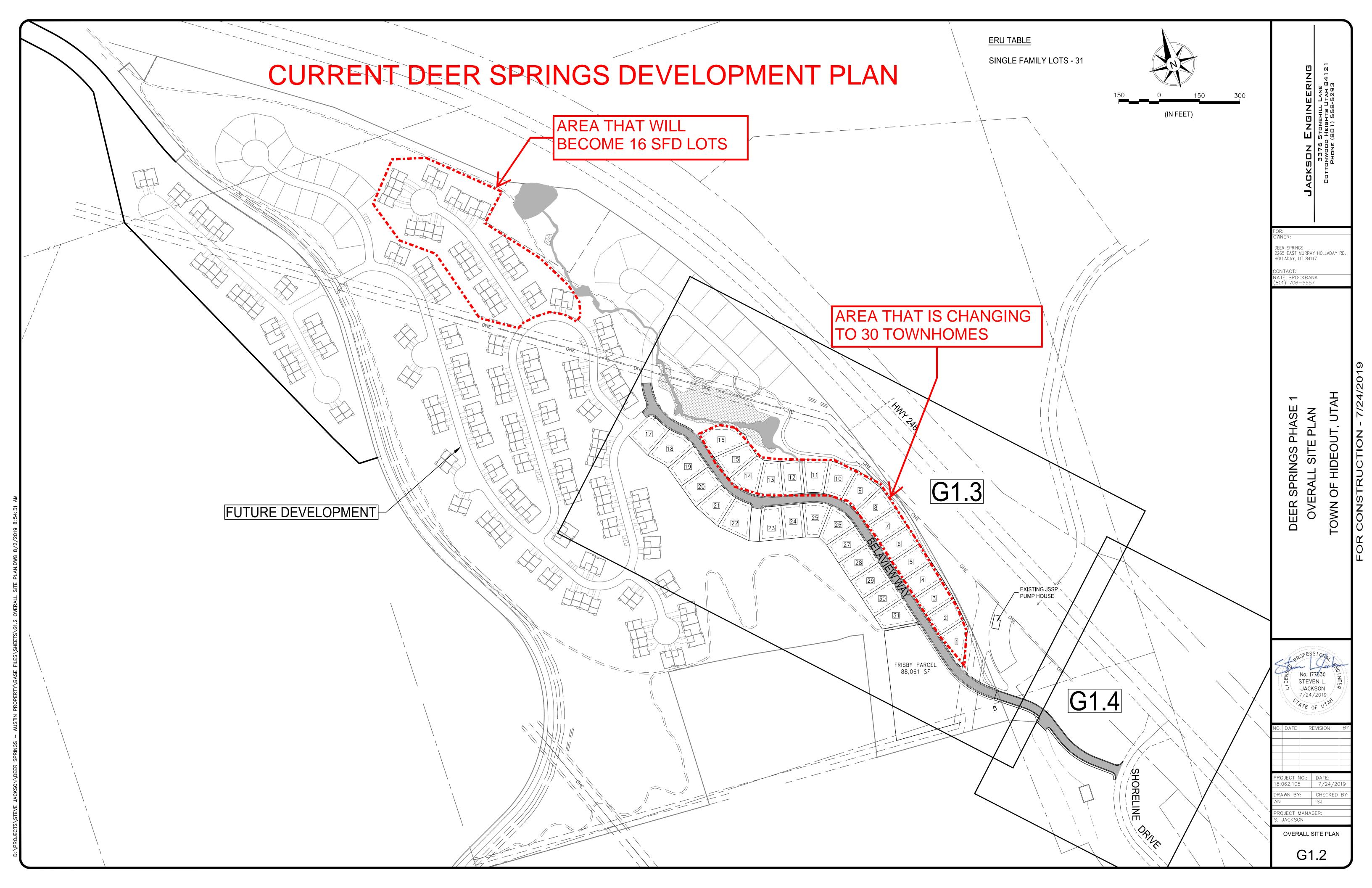


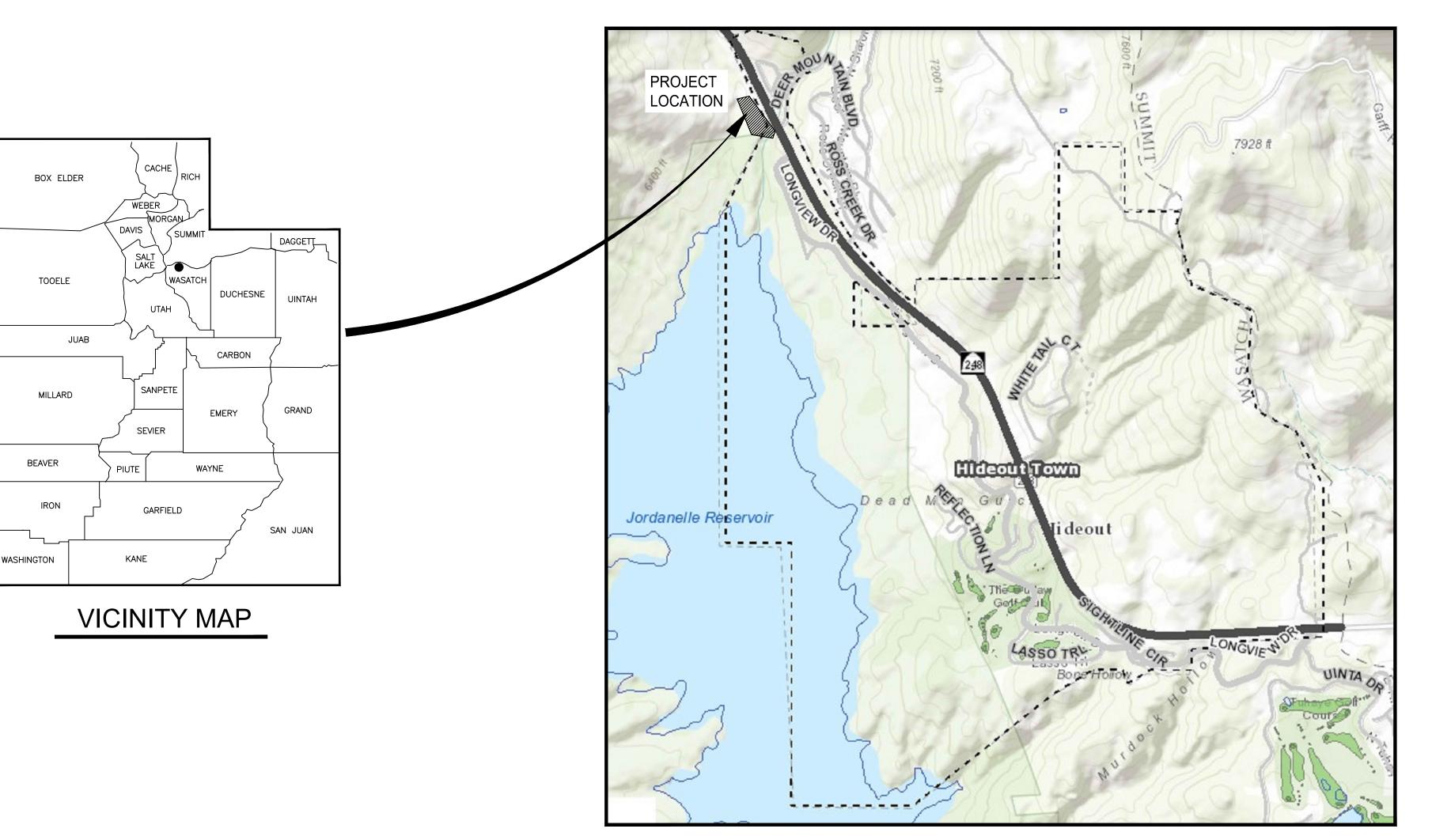
8) A full plan set be submitted, reviewed and approved prior to construction of the roadway through Deer Springs connecting to Jordanelle Parkway.

ATTACHMENTS:

Current Overall Deer Springs Site Map

Plan Set incorporating changes necessary due to the change from SFD to townhomes.





SHEET INDEX SHEET TITLE COVER SHEET **GENERAL NOTES** OVERALL SITE PLAN SITE PLAN SITE PLAN UTILITY PLAN **GRADING PLAN GRADING PLAN** G1.8 LIMITS OF DISTURBANCE & EROSION CONTROL PLAN G1.9 LIMITS OF DISTURBANCE & EROSION CONTROL PLAN PP1.1 PLAN AND PROFILE PP1.2 PLAN AND PROFILE PP1.3 PLAN AND PROFILE OFF-SITE WATER LINE - NORTH END AND CASINGS OFF-SITE NORTH END CASINGS PP1.6 OFF-SITE WATERLINE PLAN DETAILS DETAILS **DETAILS**

LOCATION MAP

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



CONTACT: NATE BROCKBANK DEER SPRINGS 2265 E. MURRAY HOLLADAY RD. PHONE: (801) 706-5557

<u>ENGINEER</u> Jackson Engineering CONTACT: STEVE JACKSON 3376 STONEHILL LANE SALT LAKE CITY, UT 84121 PHONE: (801) 558-5293

2265 EAST MURRAY HOLLADAY RD. HOLLADAY, UT 84117

CONTACT: NATE BROCKBANK (801) 706-5557

COVER SHEET HIDEOU

No. 177**5**30 STEVEN L. JACKSON 4/22/2020

3.30.20 TOWNHOMES ADDED 2 | 4.22.20 | 16 SITES/PHASE 1 A&B | ROJECT NO.: DATE: 8.062.105 4/22/2020 RAWN BY: | CHECKED B`

JACKSON COVER SHEET

G1.0

ROJECT MANAGER:

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: TOWN OF HIDEOUT STANDARD SPECIFICATIONS, AND THE UTAH CHAPTER AMERICAN PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION (UPW), WHERE APPLICABLE.

2. PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT TOWN OF HIDEOUT FOR A PRE-CONSTRUCTION CONFERENCE.

A. REGULATORY AGENCY:

TOWN OF HIDEOUT PUBLIC WORKS DEPT. 10860 NORTH HIDEOUT TRAIL HIDEOUT, UT 84036 (435) 659-4739 B. OWNER:

DEER SPRINGS

2265 E. MURRAY HOLLADAY ROAD HOLLADAY, UT 84117

C.ENGINEER:

JACKSON ENGINEERING 3376 STONEHILL LANE COTTONWOOD HEIGHTS, UT 84121 PHONE: (801) 558-5293 CONTACT: STEVE JACKSON

- 3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL
- 4. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED
- 5. THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE. EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.
- 7. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM TOWN OF HIDEOUT AND/OR WASATCH COUNTY, AND/OR UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.
- 8. THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND **SPECIFICATIONS**
- 9. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE OWNER/ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF: (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

- 10. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
- 12. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
- 13. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- 14. THE CONTRACTOR AGREES THAT:
 - THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK
- THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
- THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
- THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN
- THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
- UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE
- 15. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- 16. DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
- 17. CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER AND LIGHT POLES SHALL BE THE RESPONSIBILITY OF
- 18. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- 20. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- 21. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT 'ME CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER THE ENGINEER AND THE RESPECTIVE REGULATORY AGENCY
- 22. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUITS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE. CONTRACTOR SHALL THEN SUBMIT MYLAR AND DISK TO CITY.

23. WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

24. SURVEY INFORMATION:

SITE BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BOUNDARY SPECIALISTS DAVID HAWKES, PLS

(801) 792-1569

DAVE@BOUNDARYSPECIALISTS.COM

CLEARING AND GRADING NOTES

- 1. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY BOUNDARY SPECIALISTS.
- JACKSON ENGINEERING SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND SUBMIT REQUEST FOR SWPP PERMIT. OWNER REQUIRED TO OBTAIN OTHER PERMITS FROM TOWN OF HIDEOUT, WASATCH COUNTY AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

DEWATERING NOTES

- 1. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. 'THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
- 2. THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
- 3. SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.
- 4. THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS. PREVENT DISTURBANCE OF COMPACTED SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

UNDERGROUND UTILITIES

- . THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION AND/OR THE ALTA SURVEY. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
- 2. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- . THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE, FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A TRENCH BOX.
- 4. PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
- 5. IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
- 6. THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY -TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND IN ACCORDANCE WITH DRAPER CITY, TOWN OF HIDEOUT STANDARDS AND SPECIFICATIONS.
- 7. RCP PIPE SHALL BE CLASS III PIPE UNLESS OTHERWISE NOTED ON PLANS.
- 8. ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE TOWN OF HIDEOUT STANDARDS, THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEAN OUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.
- 9. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF TOWN OF HIDEOUT PERSONNEL ONLY.
- 10. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS
- 11. THE CONTRACTOR SHALL NOTIFY TOWN OF HIDEOUT PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.
- 12. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING
- 13. WATER PIPE SHALL BE HDPE DR11 APPROVED EQUIVALENT. WATER PIPE SHALL BE INSTALLED AND TESTED TO TOWN OF HIDEOUT STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.
- 14. STRAIGHT LINE SEWER PIPE IS TO BE PVC SDR-35 OR APPROVED EQUAL AND TESTED TO TOWN OF HIDEOUT STANDARDS.
- 15. STRAIGHT STORM DRAIN PIPING IS TO BE REINFORCED CONCRETE PIPE (RCP) OR ADS PIPE AS SHOWN ON THESE PLANS. CURVED STORM DRAIN TO BE HDPE SDR-32.5 STORM DRAIN LINE OR APPROVED EQUAL CURVED STORM DRAIN LINES SHALL HAVE A SLOPE OF 4% OR GREATER, AND A TRACER WIRE. ALL STORM DRAIN SHALL BE INSTALLED AND TESTED TO TOWN OF HIDEOUT STANDARDS
- 16. THRUST BLOCKING SHALL BE CONSTRUCTED PER TOWN OF HIDEOUT STANDARDS AND SPECIFICATIONS.
- 17. CONTRACTOR IS REQUIRED TO SUBMIT AS BUILT SEWER LATERAL LOCATIONS PER TOWN OF HIDEOUT STANDARD.
- 18. CONTRACTOR IS REQUIRED TO SUBMIT AS-BUILT DRAWINGS SHOWING ALL FIELD CHANGES INCLUDING BUT NOT LIMITED TO:
- A.DRY UTILITIES THAT ARE MORE THAN A FOOT OFF OF LOCATION SHOWN ON TYPICALS. B. WATER SERVICE LATERALS THAT ARE MORE THAN A FOOT OFF OF CALL OUT LOCATIONS ON UTILITY PLAN
- C.ALL CHANGES OR ADDITIONS TO THE STORM DRAIN UTILITY.

ADDITIONAL UTILITY INFORMATION & NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES DURING CONSTRUCTION AND NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IF A UTILITY CONFLICT IS FOUND.
- 2. CONTRACTOR SHALL USE PRECAUTIONS AND SAFEGUARDS TO ENSURE THAT THE EXISTING SURROUNDING PROPERTIES ARE PROTECTED FROM DAMAGE DURING EXCAVATION & CONSTRUCTION
- 3. ALL WORK PERFORMED PER TOWN OF HIDEOUT STANDARDS AND SHALL BE DONE BY A LICENSED GENERAL CONTRACTOR WITH INSURANCE AND BOND AND REQUIRED BY TOWN OF HIDEOUT.

WATER NOTES

- 1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING VALVES AT THE CONNECTION POINTS PRIOR TO BEGINNING WATER LINE CONSTRUCTION. IF ANY CONFLICTS WITH OTHER UTILITIES EXIST, CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY TO INVESTIGATE CONFLICT RESOLUTION.
- 2. ALL CULINARY, AND FIRE PROTECTION WATER LINE CONSTRUCTION SHALL CONFORM TO TOWN OF HIDEOUT DETAILS AND SPECIFICATIONS.
- 3. ALL GATE VALVES SHALL BE INSTALLED PER TOWN OF HIDEOUT STANDARDS.
- 4. ALL WATER LINE THRUST BLOCKING SHALL CONFORM TO TOWN OF HIDEOUT STANDARDS.
- 5. ALL FIRE HYDRANTS SHALL BE INSTALLED COMPLETE PER TOWN OF HIDEOUT STANDARDS
- 6. ALL WATER METERS SHALL BE INSTALLED PER TOWN OF HIDEOUT STANDARDS.
- 7. IF ANY WATER LINE LOOPS ARE REQUIRED, THEY SHALL BE INSTALLED IN CONFORMANCE WITH TOWN OF HIDEOUT STANDARDS
- 8. ALL BLOW-OFFS SHALL BE INSTALLED PER TOWN OF HIDEOUT STANDARDS.

SEWER NOTES

- 1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF HIDEOUT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- 2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING AND NEW SEWER LINES.
- 3. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

SURFACE IMPROVEMENTS

- 1. SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHALL BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 95 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D1557, MODIFIED PROCTOR ASTM D698). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS MOISTURE.
- 2. GRANULAR SUB BASE GRANULAR MATERIAL MUST BE CLEAR OF ORGANIC AND DELETERIOUS MATERIAL AND COMPACTED WITH PROPER MOISTURE CONTENT TO THE BOTTOM OF THE AGGREGATE BASE ELEVATION AT 95 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D1557, MODIFIED PROCTOR ASTM D698).
- 3. AGGREGATE BASE: AGGREGATE BASE SHALL COMPLY WITH THE GUIDELINE REQUIREMENTS FOR PAVEMENT DESIGN IN THE REPORTS CITED ABOVE BY IGES GEOTECHNICAL. THE AGGREGATE BASE SHALL BE DENSIFIED TO AT LEAST 95 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D1557, MODIFIED PROCTOR ASTM D698).
- 4. ASPHALTIC CONCRETE: ASPHALTIC CONCRETE SHALL BE 3 INCHES THICK AND COMPACTED TO AT LEAST 96 PERCENT OF THE MATERIAL'S MAXIMUM MARSHALL DENSITY IN ACCORDANCE WITH ASTM D1559.
- 5. ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. IN PAVED AREAS, PROVIDE A 1 FOOT BY 1/2 FOOT COLLAR. SET COLLAR 3/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE COLLAR FOR ALL VALVES PER RESPECTIVE WATERPRO STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES. COLLARS
- 6. MEASUREMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.

GRADING NOTES

- 1. THE FINISH GRADE CONTOURS ARE SHOWN TO EXTEND BEYOND THE ROAD PLATFORM TO ILLUSTRATE POTENTIAL GRADING OPTIONS AROUND THE HOMES BUT THEY HAVE NOT BEEN DESIGNED TO WORK WITH ANY SPECIFIC HOME DESIGN AND SHOULD NOT BE RELIED ON. THE ROAD GRADING WILL BE LIMITED TO THAT REQUIRED FOR THE ROAD PLATFORM AND THE UTILITY EASEMENT.
- 2. ROAD GRADING ALONG HOME FRONTAGE SHOULDER: SLOPES BEYOND THE UTILITY EASEMENT WILL BE AS STEP AS THE SOIL CONDITIONS WILL ALLOW AND THAT ARE REASONABLE TO CONSTRUCT. SLOPES SHALL BE STEEPER THAN OR EQUAL TO 2:1 SLOPES IN CUT OR FILL CONDITIONS.
- 3. ROAD GRADING OUTSIDE OF HOME FRONTAGES SHOULDER SLOPES BEYOND THE UTILITY EASEMENT WILL BE AS STEP AS THE SOIL CONDITIONS WILL ALLOW AND THAT ARE REASONABLE TO CONSTRUCT AND THAT ARE APPROVED BY SOILS ENGINEER. SLOPES SHALL BE STEEPER THAN OR EQUAL TO 3:1 SLOPES IN CUT OR FILL CONDITIONS
- 4. GRADING SLOPES FOR DETENTION BASINS AND INSTALLATION OF UTILITIES WILL BE APPROVED BY THE SOILS ENGINEER AND THE TOWN ENGINEER.
- 5. ALL GRADING BEYOND THE AREA DESCRIBED ABOVE WILL REQUIRE APPROVAL FROM THE DESIGN REVIEW COMMITTEE AND THEN FROM THE TOWN DURING THE BUILDING PERMIT REVIEW PROCESS.

EER SPRINGS 2265 EAST MURRAY HOLLADAY RD HOLLADAY, UT 84117 ATE BROCKBANK 01) 706-5557

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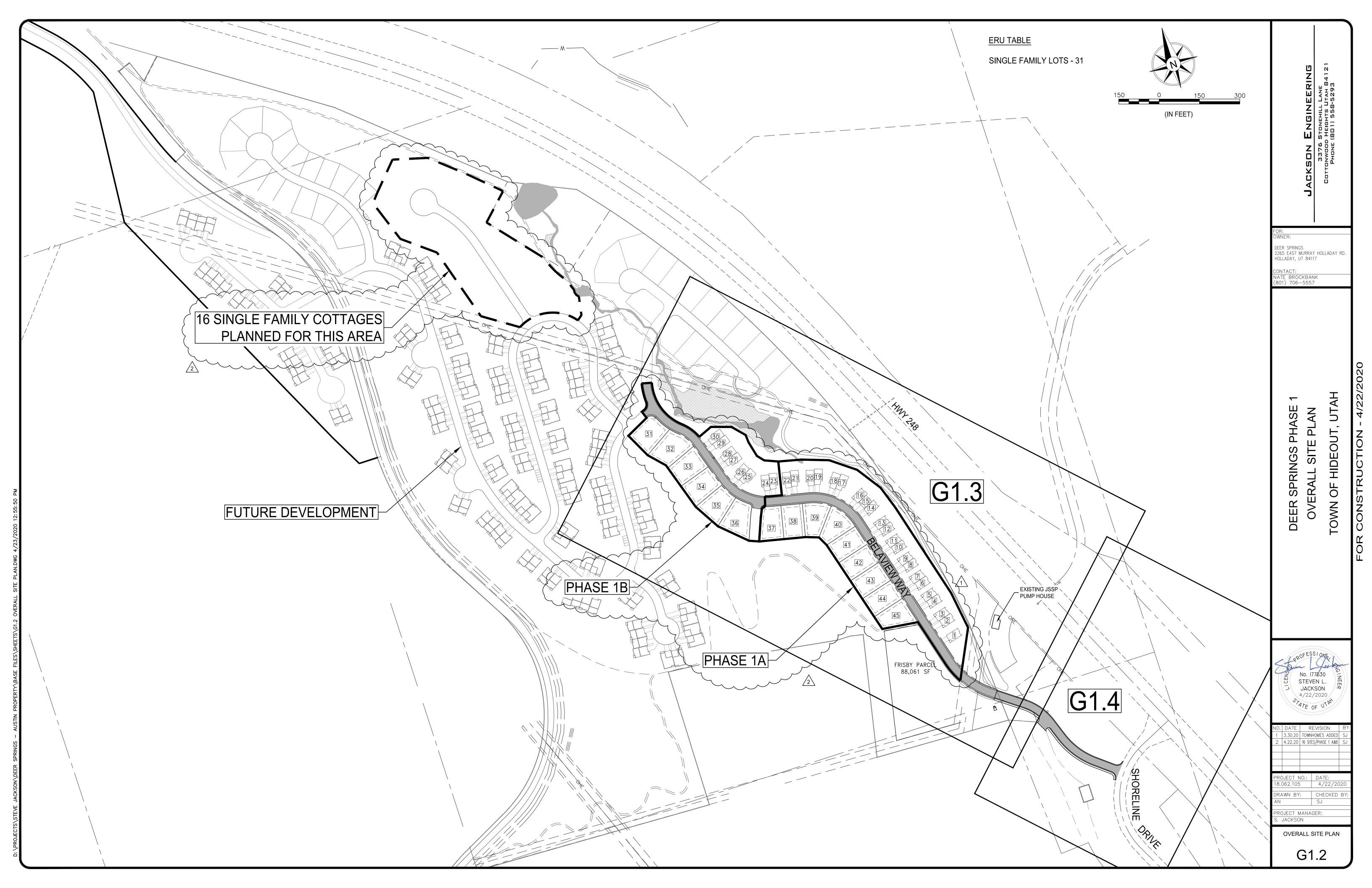
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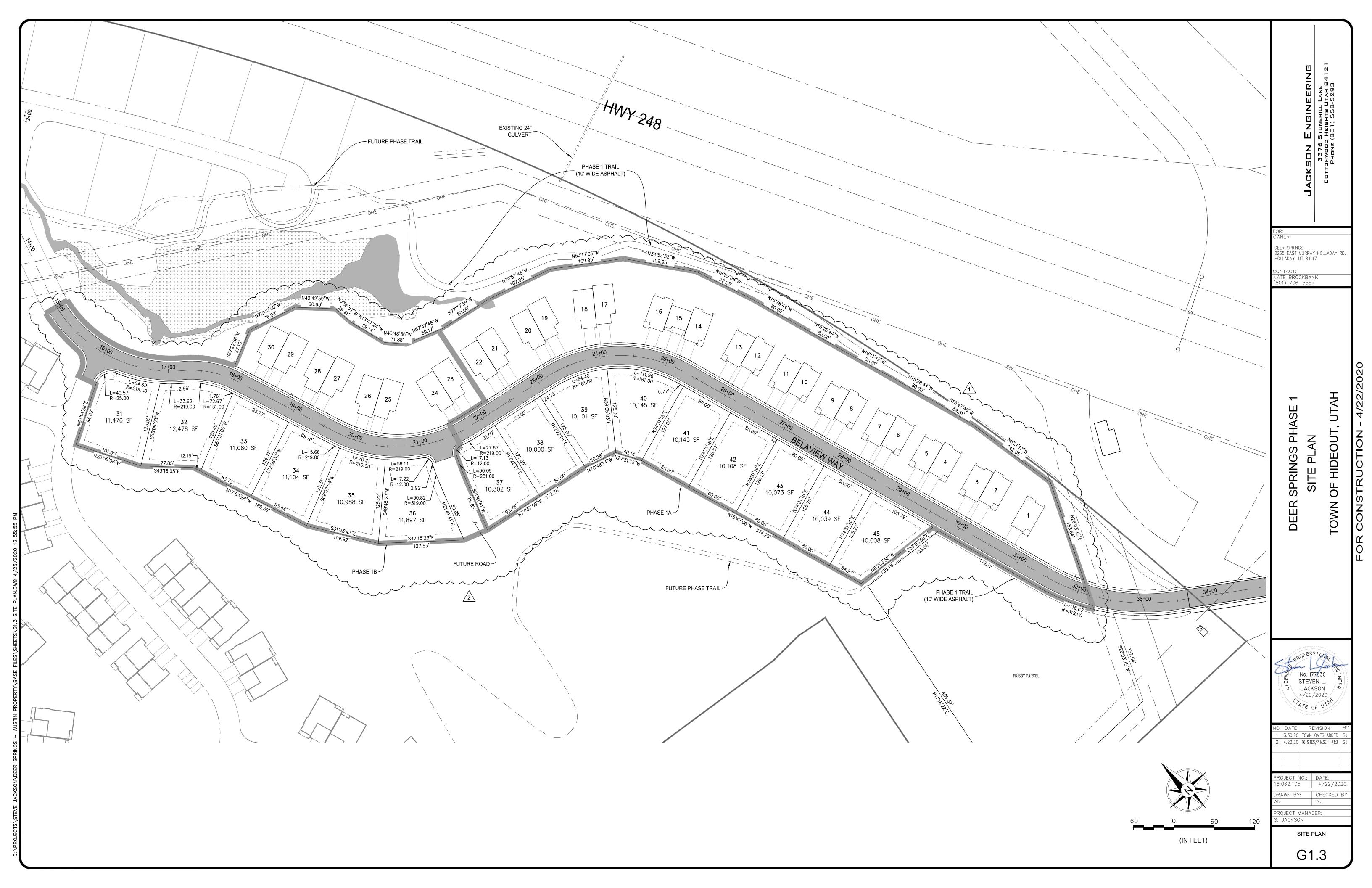


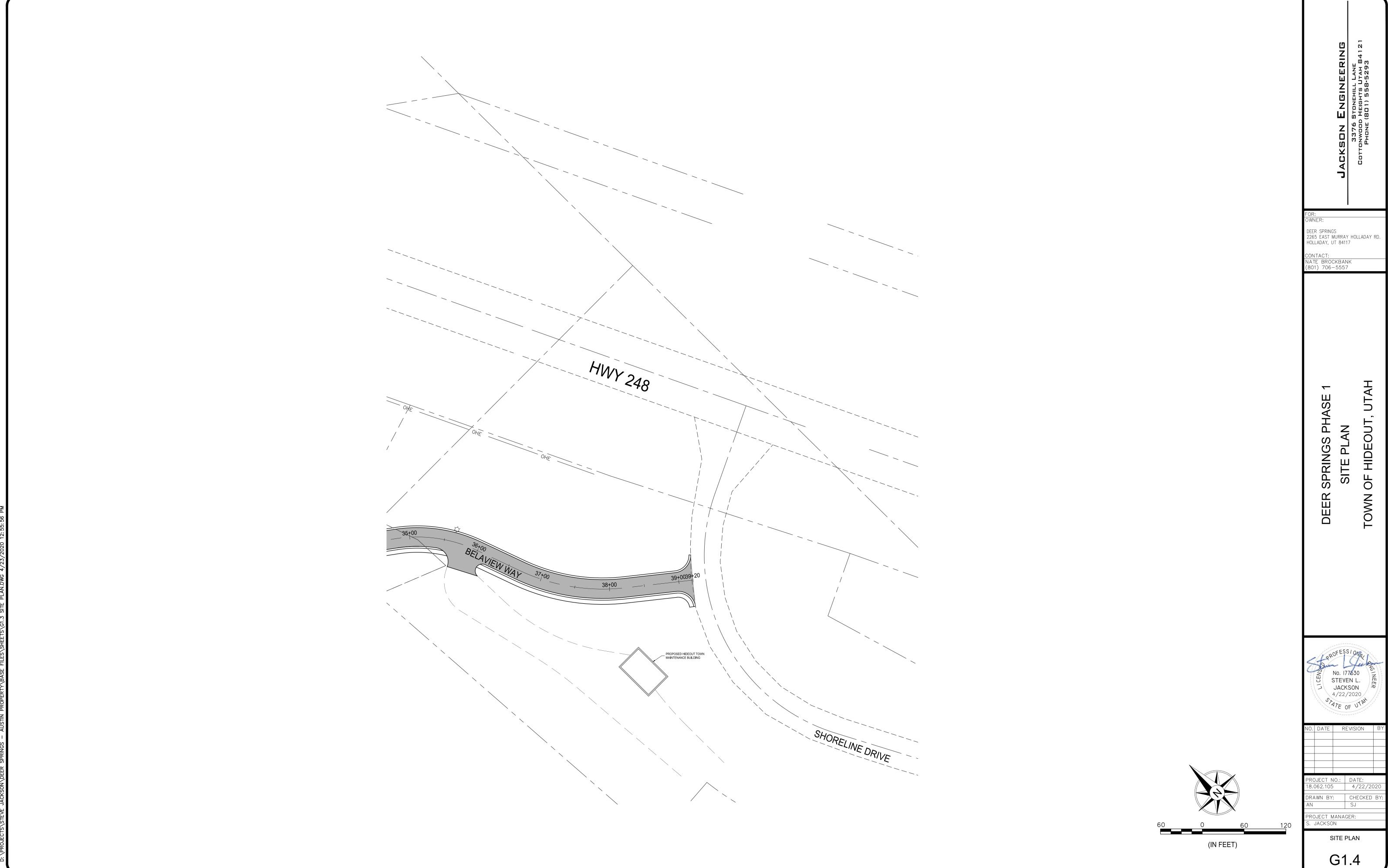
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GENERAL NOTES

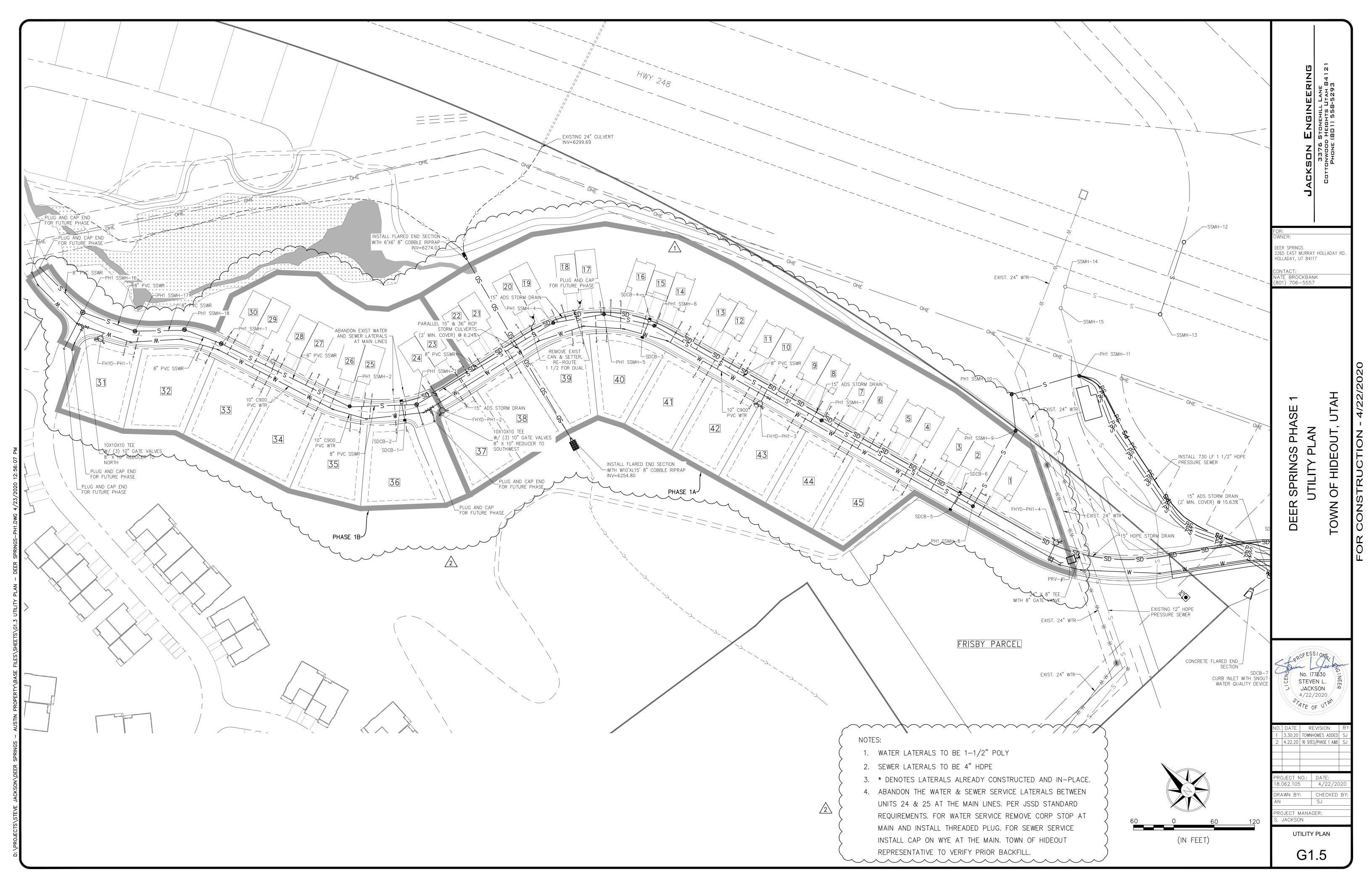
JACKSON

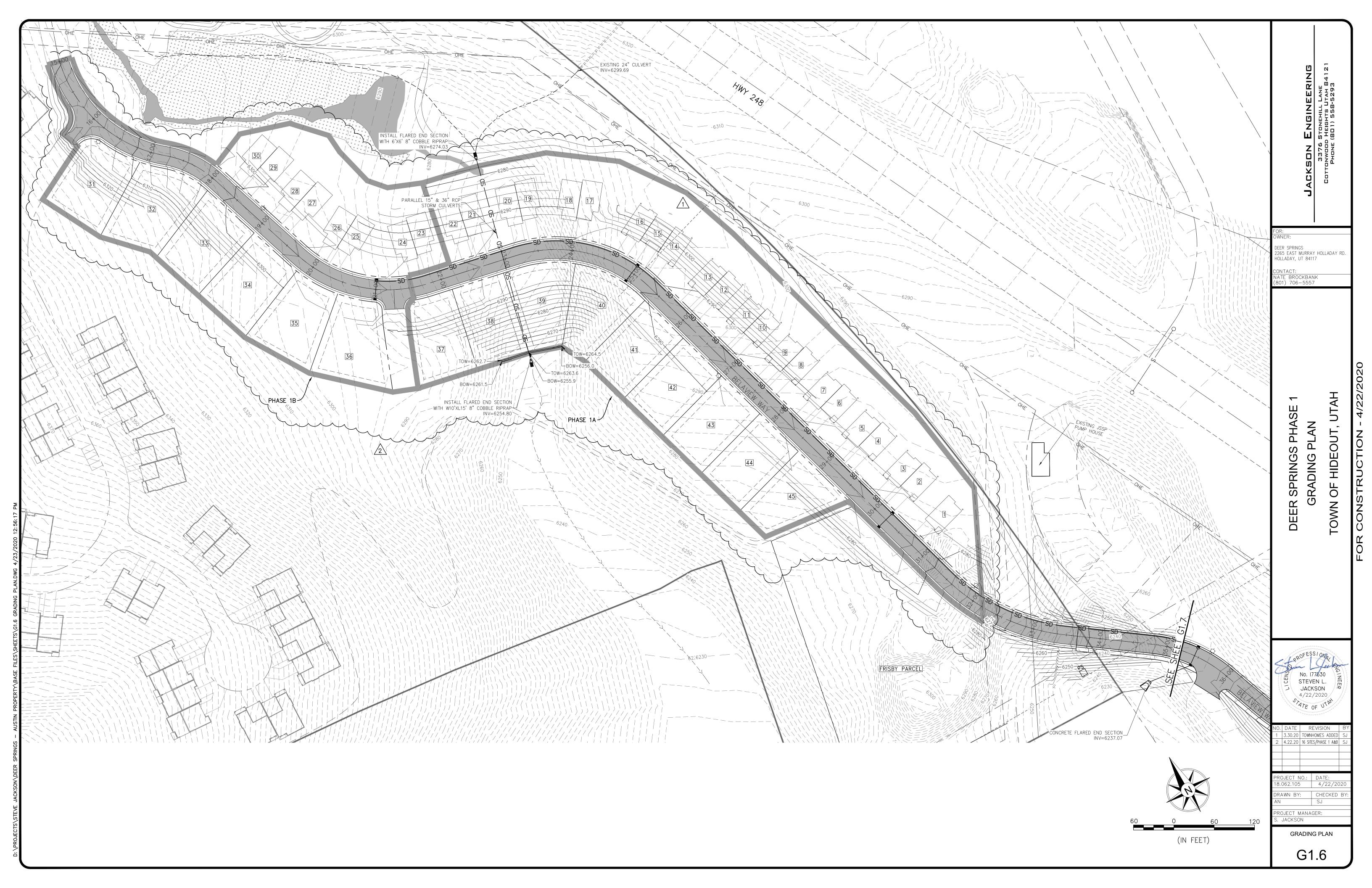


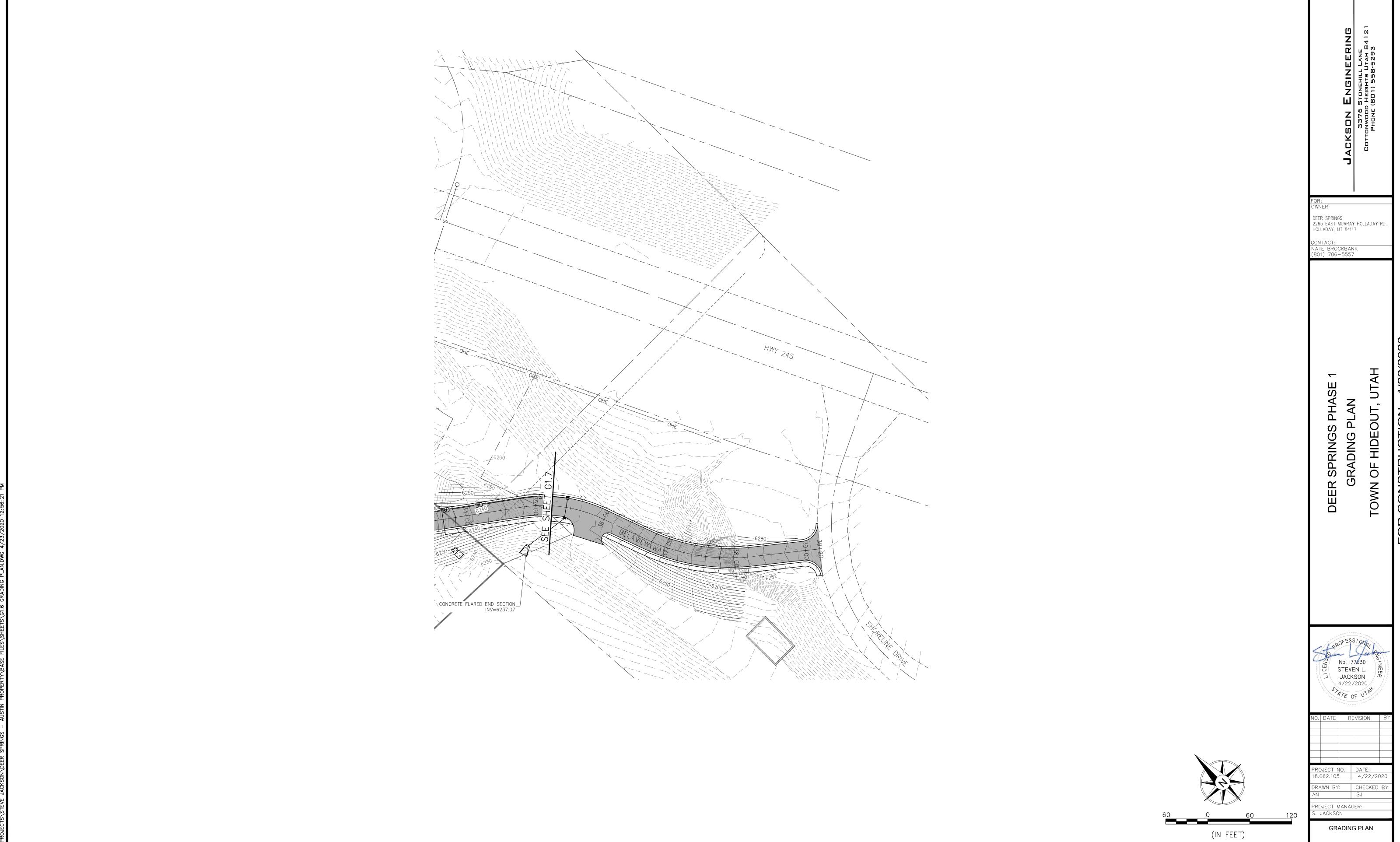




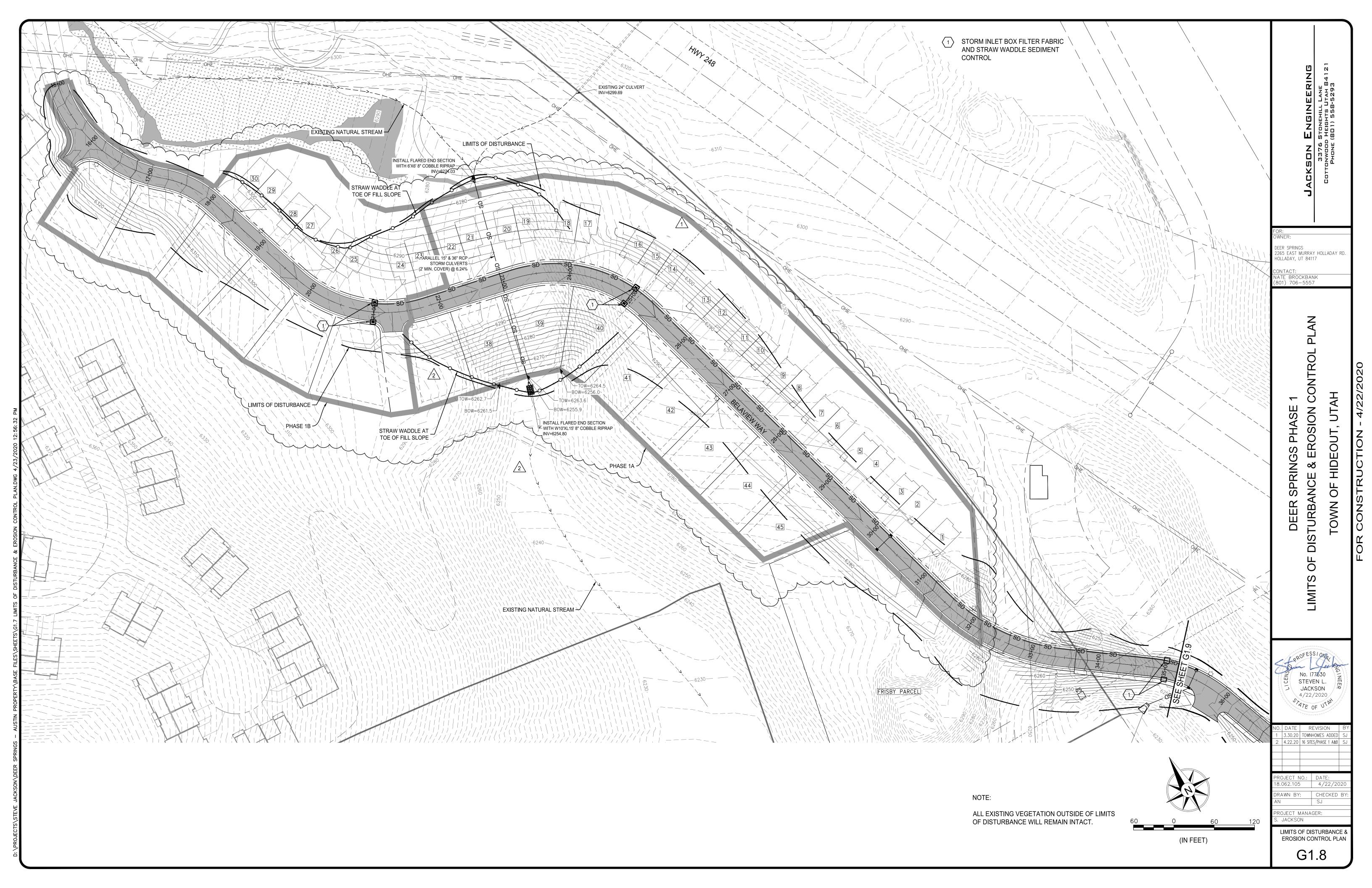
FOR CONSTRUCTION - 4/22/2020







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ОЕ **CIMITS** STEVEN L. JACKSON 4/22/2020

ANCE & EROSION CONTROL

TOWN OF HIDEOUT, UTAH

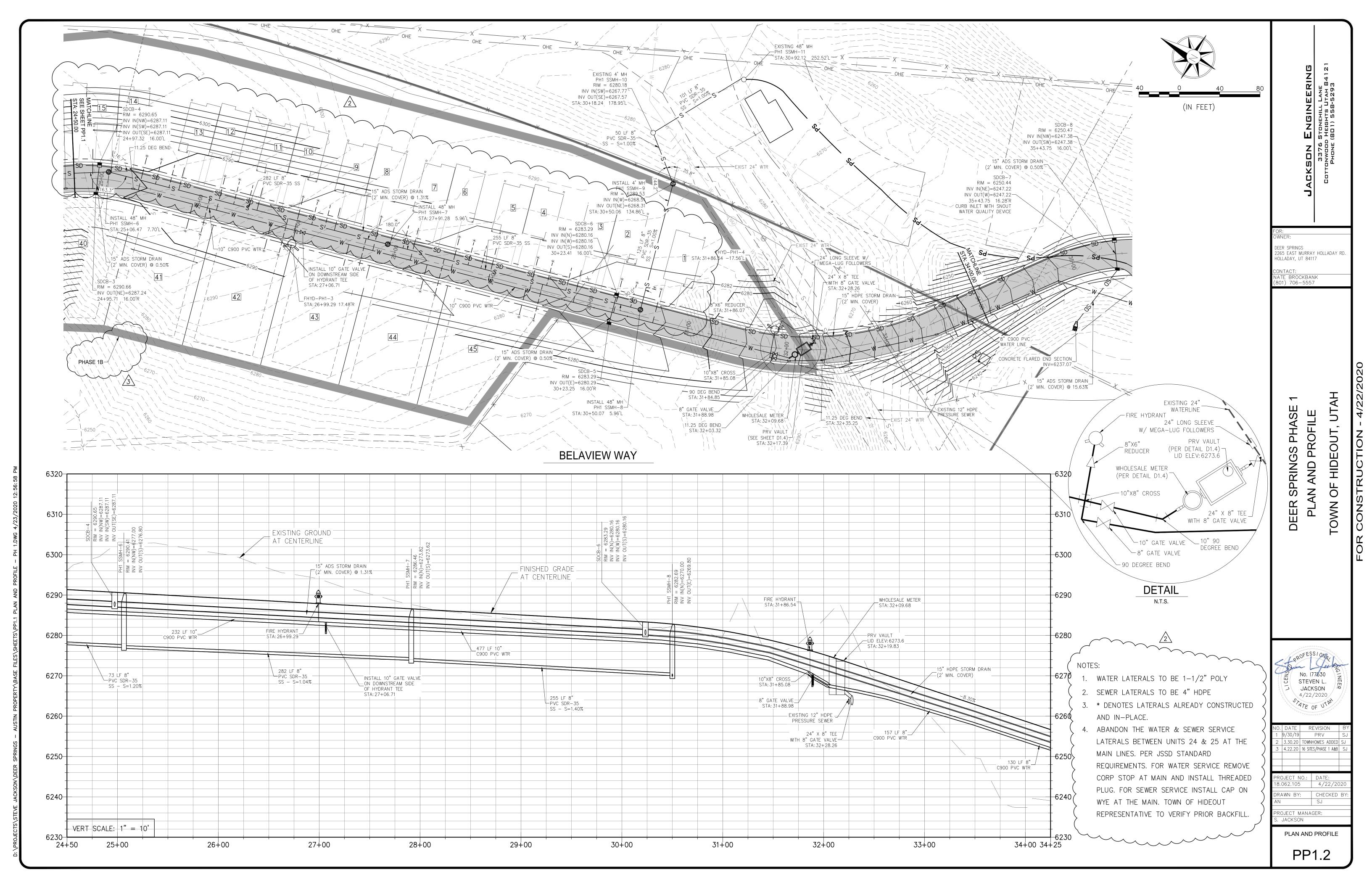
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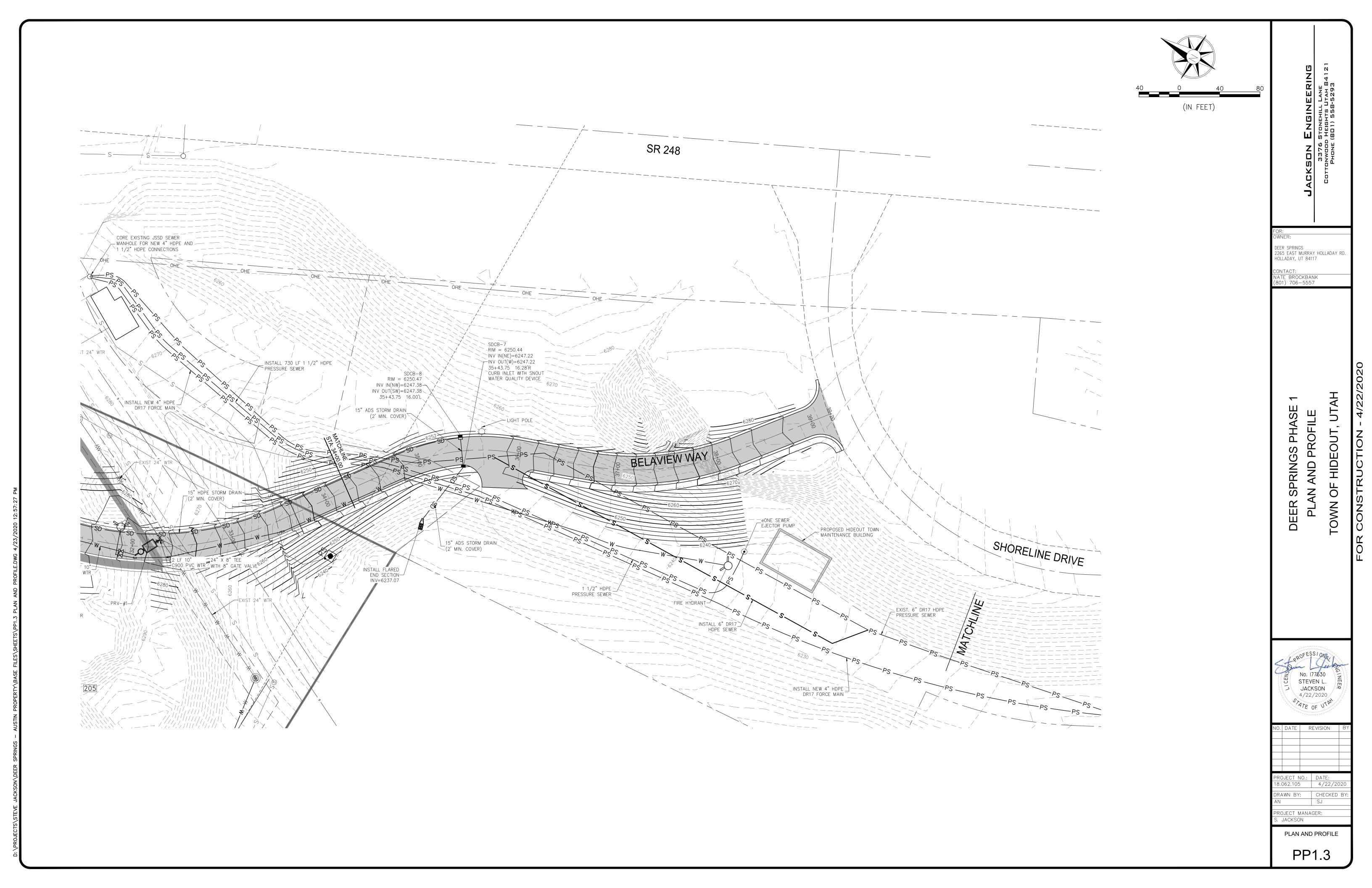
LIMITS OF DISTURBANCE & EROSION CONTROL PLAN G1.9

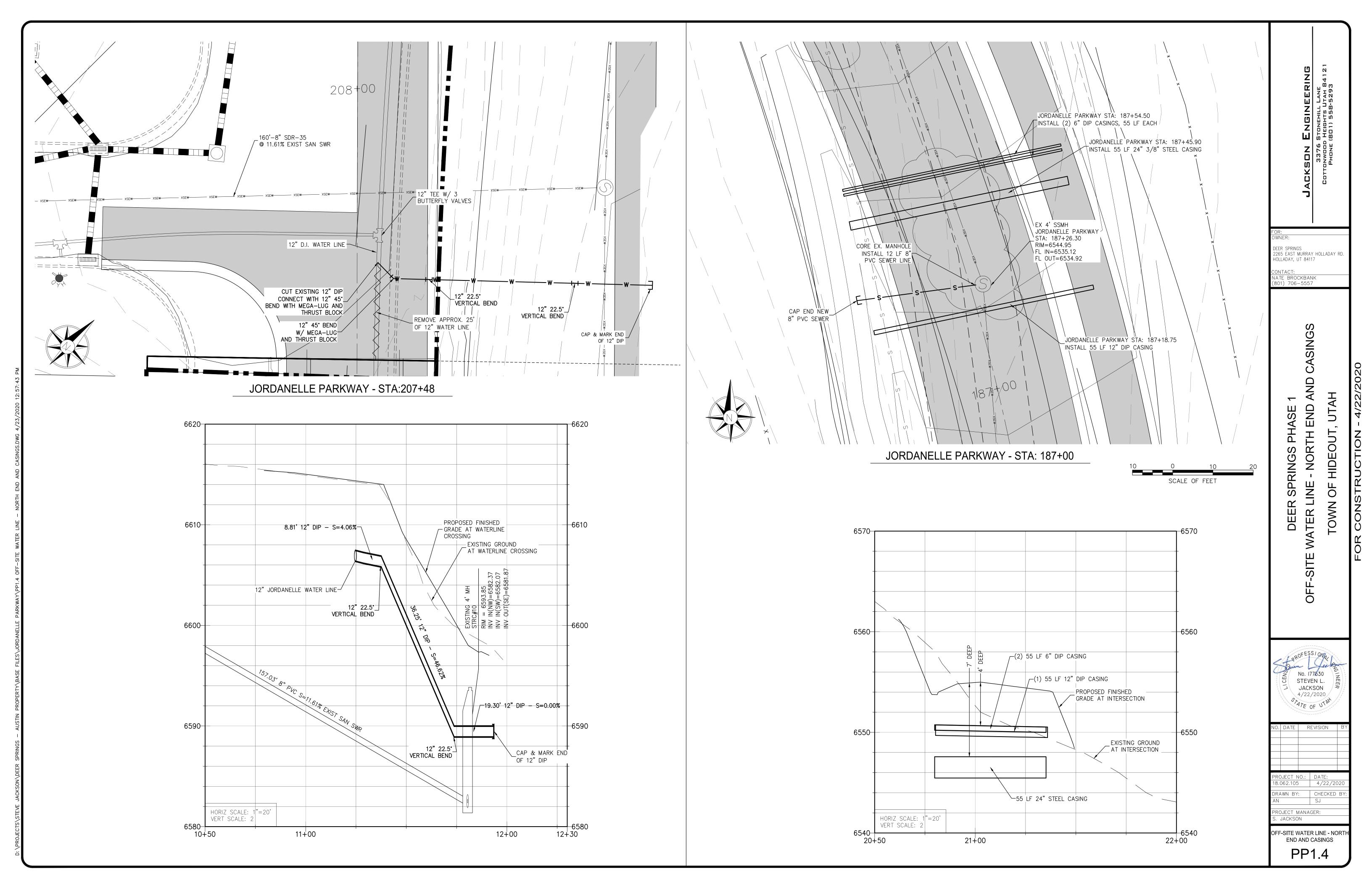
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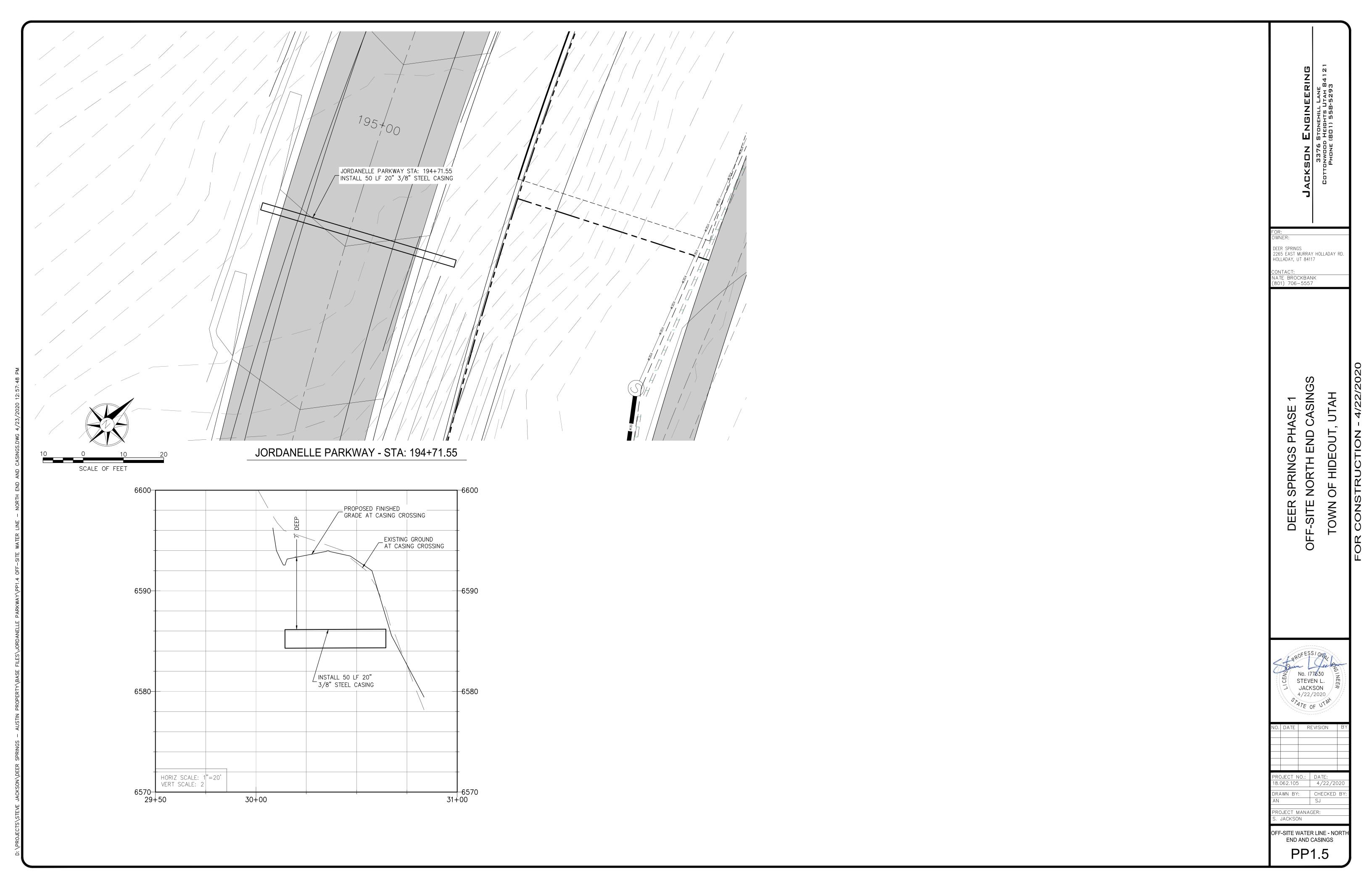
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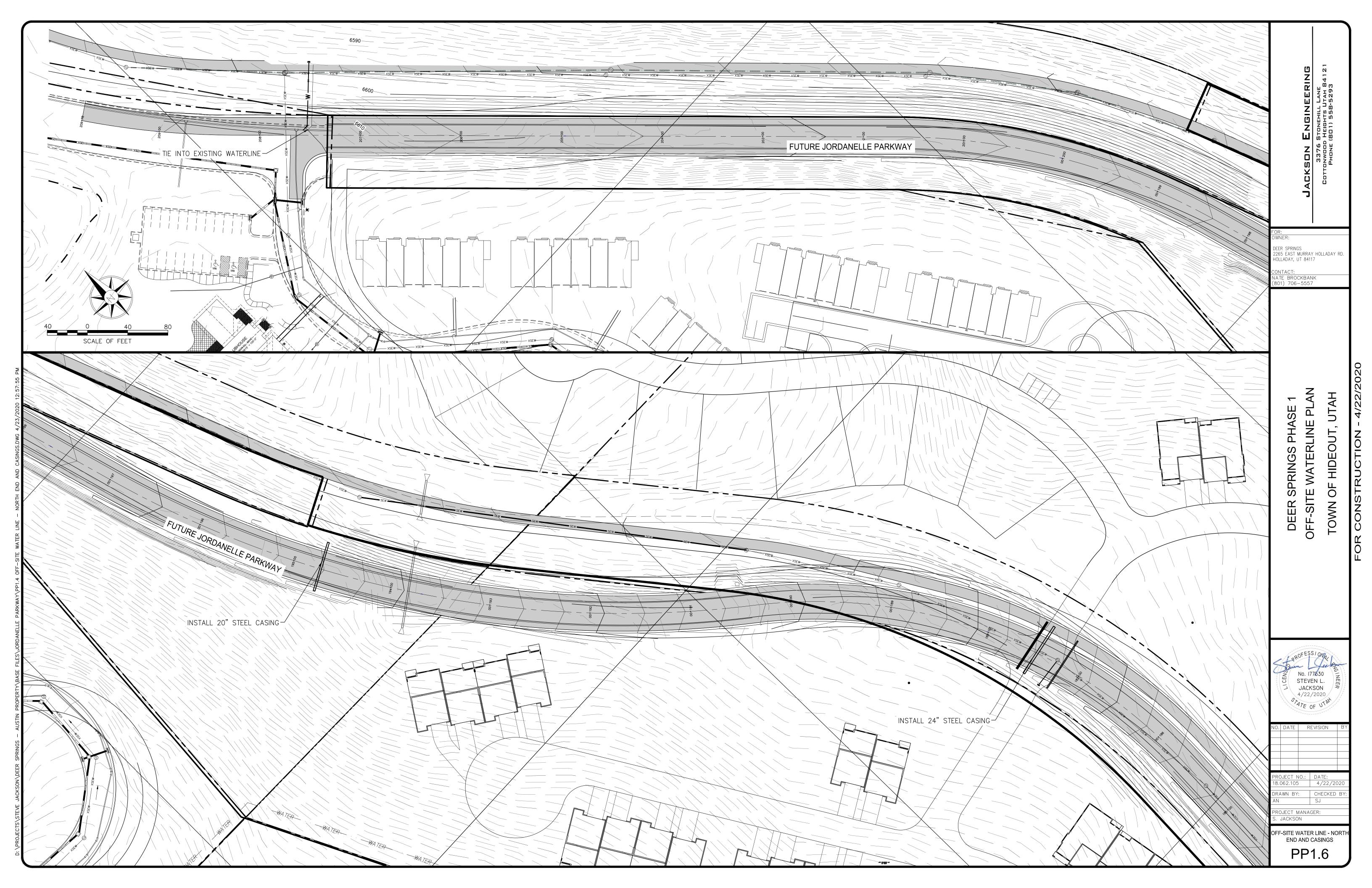
ALL EXISTING VEGETATION OUTSIDE OF LIMITS OF DISTURBANCE WILL REMAIN INTACT.











File Attachments for Item: 3. Public Hearing - discussion and possible approval of Lakeview Estates preliminary application



Memorandum

TO: Mayor Philip J. Rubin

10860 North Hideout Trail Heber City, UT 84036

FROM: T-O Engineers

Ryan Taylor, P.E. Project Manager

DATE: April 22, 2020 Updated May 13, 2020

SUBJECT: Lakeview Estates Review of Concept Plan between Cycles

We have reviewed the attached concept maps for the revised plan for Lakeview Estates. The development is in the preliminary stage and has been presented before Planning Commission and was recommended for presentation before Town Council. Town Council requested that the agenda item remain open at the preliminary stage for the developer to continue work on reducing retaining wall size by choosing certain lots to limit the front setback. We are satisfied with the changes to the plan set with regards to retaining wall height reduction.

- 1. Ensure adequate offset from the existing gravel road to any structure. Structures such as the dog wash must meet the 20 foot front and rear setback requirements. Condition of Approval. Will be verified at Final.
- 2. Based on a recent site walk, we have identified several culverts under the existing gravel road managing drainage channels through the property in its current state. These drainages will need to be properly managed. Condition of Approval. Will be verified at Final.
- 3. The concept maps were presented to the Kent Cuillard, Director of Public Works and he is unsatisfied with the locations of the snow storage areas and general ability to plow the roadways at the center of the development (at the two hammer-heads). Resolved with the new concept design.
 - We are satisfied, however, with the ratio of surface area dedicated to snow storage to new roadway area.



Staff Report Town of Hideout Planning Commission

Date: March 12, 2020 **Updated May 13, 2020**

Applicant: Holmes Homes Lakevew Estates LLC

Subject: Preliminary Review – Lakeview Estates (Van den Akker Property)

Recommendation: Preliminary Approval with conditions

BACKGROUND:

The proposed Lakeview Estates subdivision is located along Longview Drive between the Deer Waters Phases II and III subdivisions. The Applicant has proposed developing 70 lots in 3 phases on approximately 23 acres. The subdivision is within the boundaries of the master development agreement and thus will be part of the Community Preservation Association (CPA).



Approximate location of Lakeview Estates

Roadway Cross Section

The development involves the needed upgraded roadway width necessary for future Town of Hideout roads. The cross section consists of 26 feet of asphalt width, 2.5' Hideout standard modified curb and gutters, and a 10' ROW on each side of the road.

The roadway cross section and 10' of dedicated ROW stays the same.



Lot Sizes and Setbacks

An improvement to lot setbacks is also included in this preliminary design. Lots will have alternated setbacks of 25 or 30 feet back from the back of the curb on each side of the road. This, combined with the roadway cross section improvements, will improve access and egress in the town to Public Works and first responders. Lot sizes range from 6,587 SF to 14,357 SF with an average of approximately 6,850 SF.

Modified to 7.5' side, 20' front, and 15' rear setbacks. This allows the walls to be much shorter. Newly curved roads will help with alternating setbacks. Straight-aways will have at least 3' offsets.

Public Street Access

Each lot has adequate access to public streets. The Phasing has been improved to meet County Fire code for accessibility. Phase I connects to Star Gazer Circle in Deer Waters Phase I and will have a 55 foot temporary fire turn-around at the end. Phase II connects to Longview Drive between Deer Waters Phases II and III. Phase II will likewise have a 55 foot temporary fire turn-around at the end. Phase III consists of the remaining lots and connects Phases I and II and completes the necessary two accesses to the development.

We also recommend that the planning commission consider recommending/requiring a connection to Shoreline Phase II. The new plan allows for connection to the existing Upside Drive on Shoreline Phase II, connection to Star Gazer Circle, and an additional connection that should connect to the currently-under-review Shoreline Phase III. One or both of this and the Shoreline Phase III plan sets may need to change to make this connection happen.

Sewer Lift Station Improvements

An existing lift station on Deer Waters Phase I that does not meet the Town's requirement will be removed as part of the Lakeview Estates development. The proposed lift station in Lakeview Estates will service Lakeview Estates, and all of the Deer Waters development. The lift station shown in existing, unapproved plans for Deer Waters Phase III will not be constructed. A full plan set for the Lakeview Estates lift station will need to be presented for review prior to final approval.

Snow Storage

Snow storage will need to be shown on the Plat upon application for Final approval.

Still applicable. Public Works did not approve of the previous plan, but this new plan
resolves those concerns.

Detention Basin, access, and drain swale

Preliminary plans detail two detention basins, both near the SW corner of the property. At final approval review, this will be verified to be capable to handle any runoff coming from this and any that comes from the developments above it. Down to one detention pond, but it

Down to one detention pond, but is larger. Conditions for final approval still stand.

Wetlands

An R4SBC (Riverine, Intermittent, Streambed, Seasonally Flooded) channel runs through the property. The applicant has stated that this drainage channel has been re-routed through Deer Waters. At Final, a letter will be required from a Wetlands Ecologist addressing whether or not the plans adequately manage this drainage channel. Still applicable.

Overhead Power

The site does not require relocation of the overhead power easement located on the West side of the property. However, this should be shown on the Plat for final approval. Still applicable.

Outstanding Developer Balance

Based on our understanding, the applicant holds no outstanding balance with the Town of Hideout. Town to confirm and reconcile prior to Planning Commission approval. Still applicable.

Utility (Water and Sewer) Will-Serve Letters

Utility Will-Serve letters from the Town of Hideout, JSSD, RMP and Dominion Energy will be necessary prior to Final approval. Still applicable.



Preliminary Design Review Comments

All comments pertinent to preliminary design have been corrected in the most recent plan set submitted for the second review cycle. Final approval requires that the applicant has met our conditions for approval.

RECOMMENDATION:

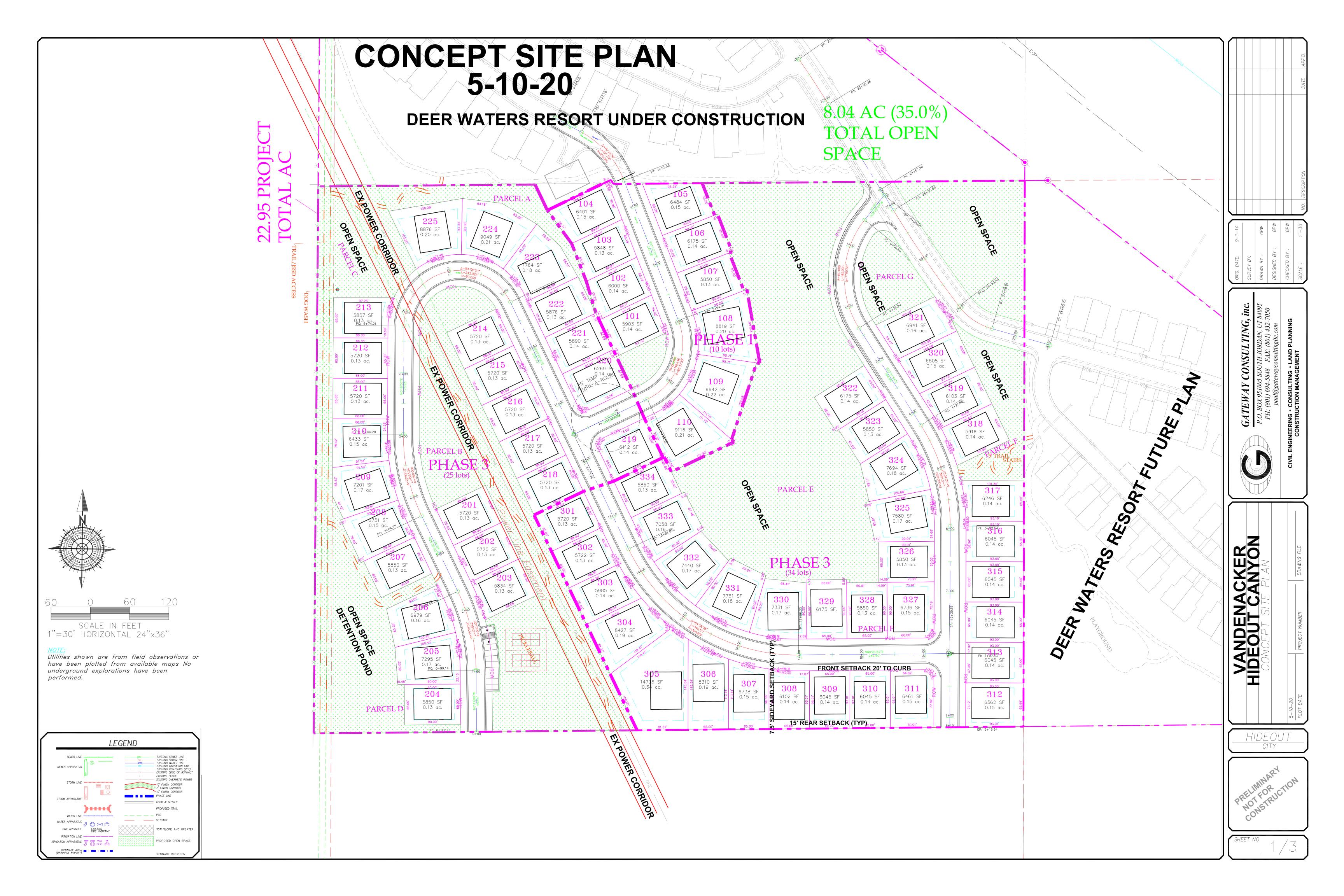
Staff recommends that the commission review the proposed development and whether any prior concept or development agreement conditions have been satisfied. If agreed, we recommend preliminary approval of the Lakeview Estates (Van den Akker property) Subdivision with the following conditions:

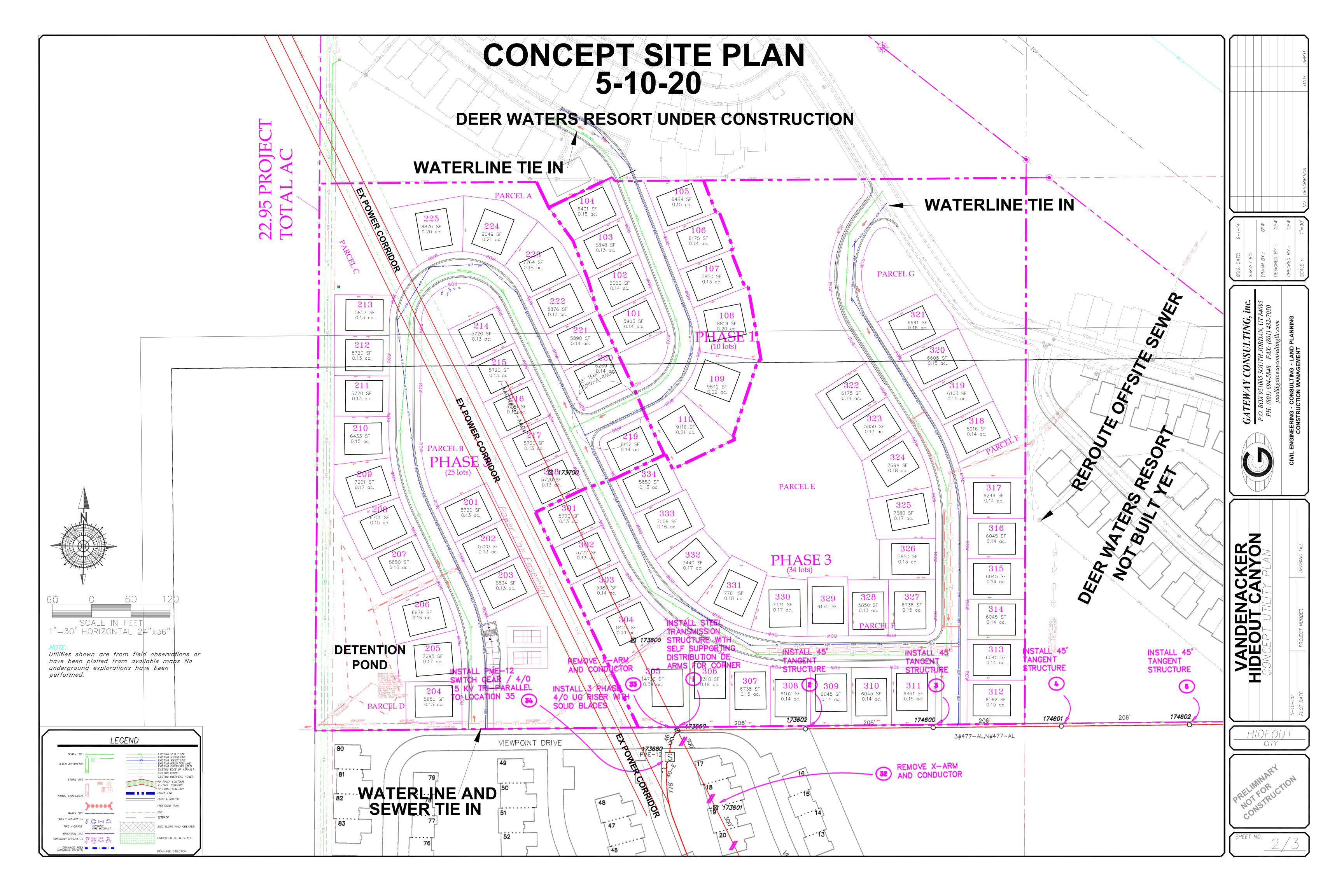
- Still applicable. 1. The Final Plan set be submitted for a more thorough and detailed review of all infrastructure plans.
- Still applicable. 2. A letter be submitted at Final from a Wetlands Ecologist addressing whether or not the plans adequately manage the drainage channel mapped through this property.
- Still applicable. 3. Will-serve letters from all utility providers be presented at Final.
- Still applicable.4. A full set of plans be presented and approved for the sewer lift station that is to service Lakeview Estates and all of Deer Waters.
- Still applicable. 5. A plat be presented and approved for each of the 3 phases of development showing all necessary requirements including snow storage and proper setbacks, PUEs and any other pertinent notes or deed restrictions.
- Still applicable. 6. Further review or modifications may be necessary on the geotechnical report at final.
- Still applicable. 7. Plans and details from a structural engineer be presented for final approval should the site have any proposed concrete retaining walls.
- Still applicable. 8. A landscaping plan be presented for final approval.
- Still applicable. 9. A SWPPP permit be obtained and NOI filed with Hideout prior to construction.

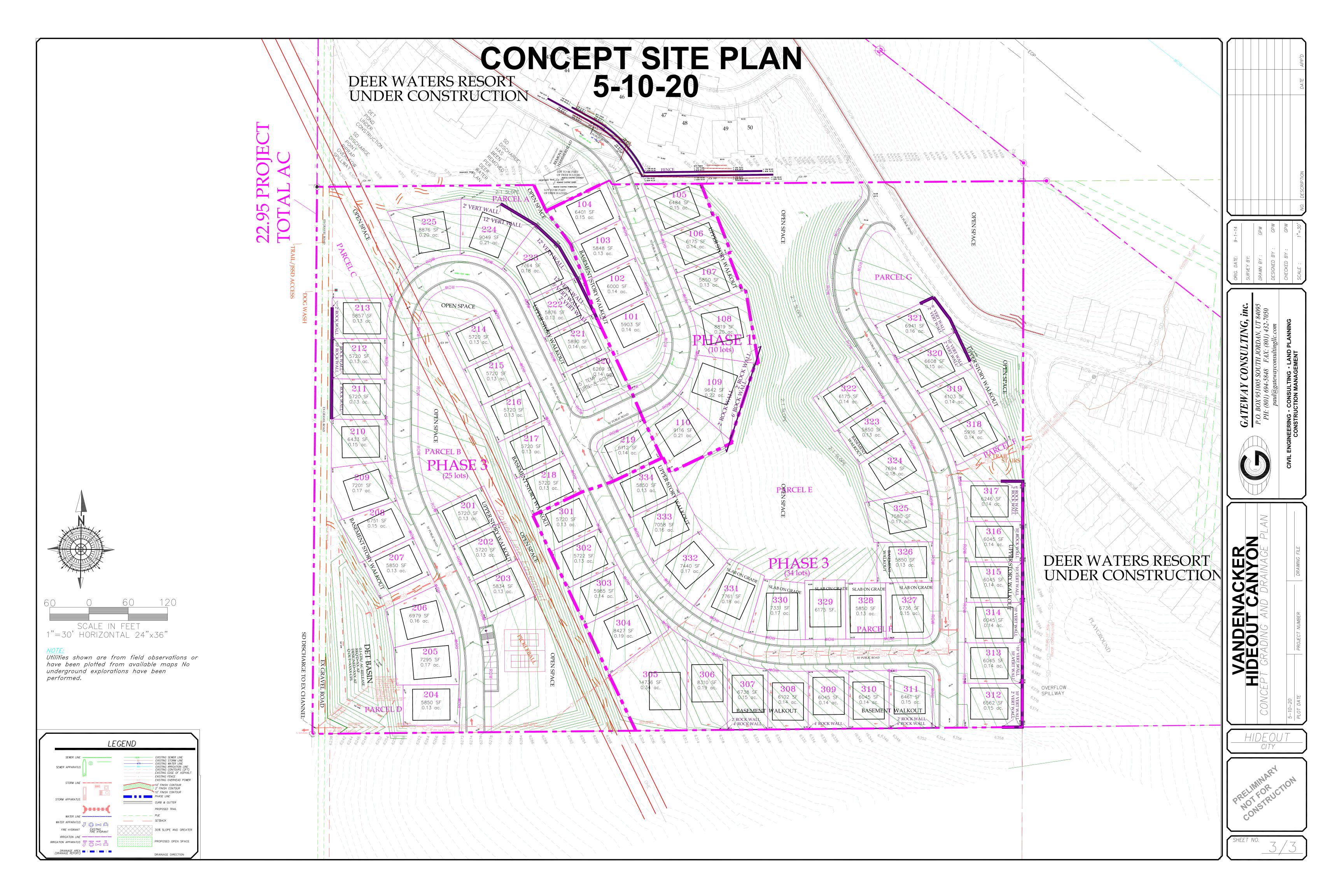
ATTACHMENTS:

SITE DEVELOPMENT CONSTRUCTION PLANS, LAKEVIEW ESTATES, PRELIMINARY

The new Concept design is attached to this document first, and the original full preliminary plan set is included as well. The applicant must present a fully-detailed plan set incorporating the new concept design upon applying for final approval.







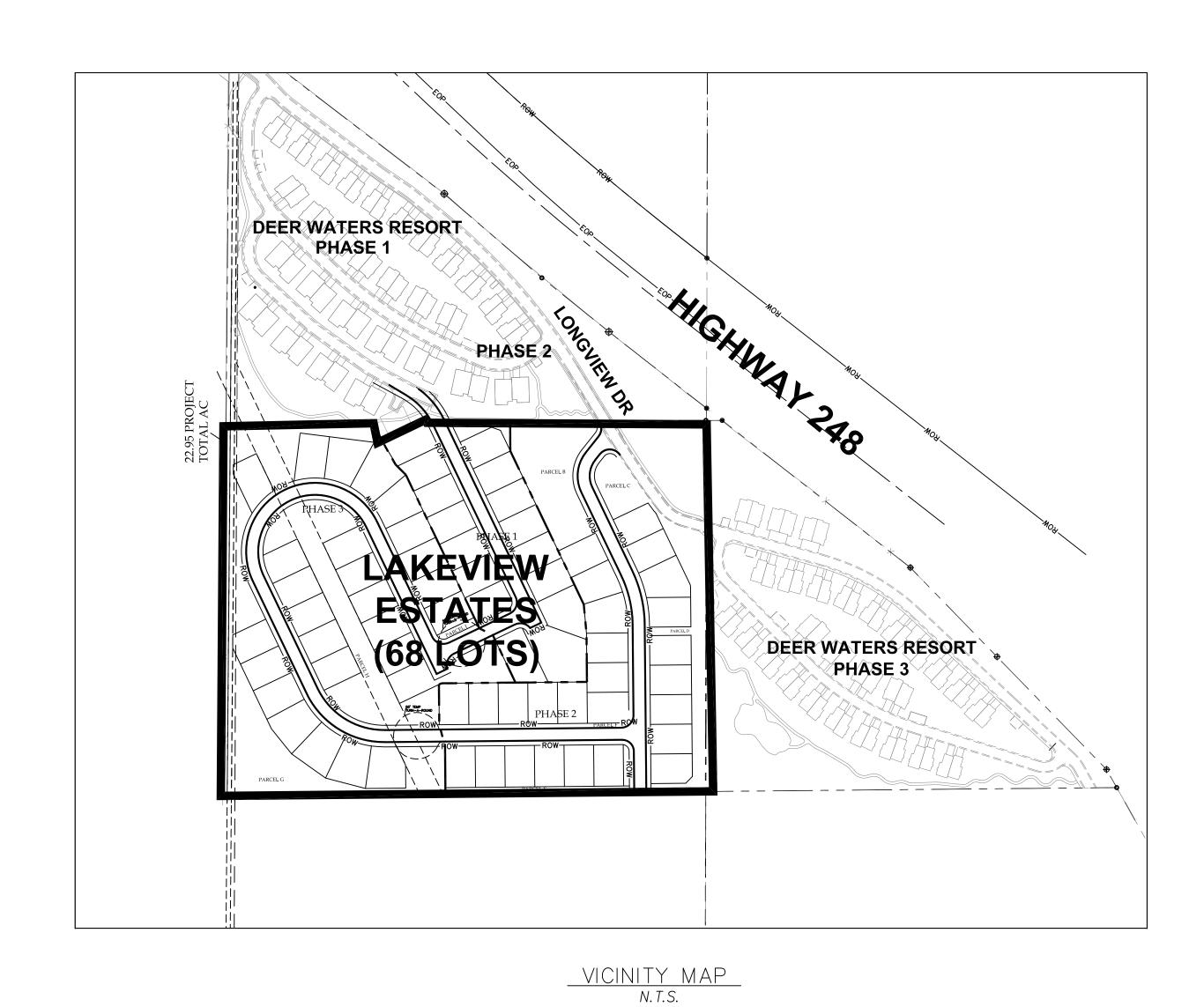
SITE DEVELOPMENT CONSTRUCTION PLANS

LAKEVIEW ESTATES

LOCATION

DEVELOPMENT IS IN THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN

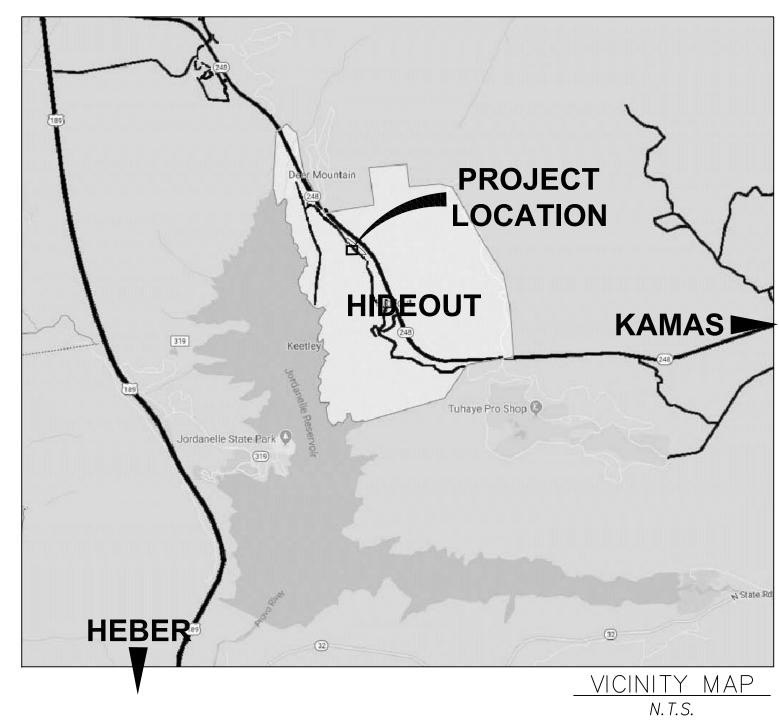
PRELIMINARY



FEBRUARY 29, 2020

	GATEWAY CONS	TIT TIN	IC I
	DESCRIPTION DESCRIPTION	DATE	SHEETS AFFECTED
	REVISIONS		
	DETENTION POND DETAILS		
DET D1 D2 D3 D4	AIL SHEETS ROADWAY DETAILS WATER LINE DETAILS SANITARY SEWER DETAILS STORM DRAINAGE DETAILS		
SSL	SIGN, STRIPE, & LIGHTING		
WPPP 21—ER2	STORM WATER POLLUTION PROTECTION PLAN PROSION CONTROL DETAILS		
PP6	ROAD 4B STA: 14+00 to END		
PP4 PP5	ROAD 4B STA: 0+00 to 6+00 ROAD 4B STA: 6+00 to 14+00		
PP2 PP3	ROAD 4A STA: 8+00 to END ROAD 4C STA: 0+00 to END ROAD 4D STA: 0+00 to END		
PP1	ROAD 4A STA: 0+00 to 7+00		
U3 U4	STORM WATER UTILITY PLAN PROPOSED DRY UTILITIES		
U1 U2	CULINARY WATER UTILITY PLAN SANITARY SEWER UTILITY PLAN		
31-G4	GRADING SHEETS (1"=30')		
6 7	TRAIL PLAN RETAINING WALL PLAN		
5	DRAINAGE MAP		
3 4	OVERALL PROJECT SITE PLAN CONSTRAINTS and SETBACKS MAP		
2	EXISTING SITE AND DEMO PLAN		
	PLATS		
<u>1A</u> N/A	PROJECT NOTES		





PROJECT

WYOMING

JSSD CONSTRUCTION NOTES

1. All work to be done in conformity to HIDEOUT TOWN standards and specification and as directed by the Jordanelle Special Service District engineer or his representatives.

2. All sewer and water system construction shall be in accordance with Jordanelle Special Service District standards and specifications. Contractor to obtain current standards from the Jordanelle Special Service

3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities.

5. Contractor shall be responsible to obtain and pay for necessary permits.

4. Contractor responsible for protection of all utilities

6. Contractors shall attend all pre-construction conferences.

shown or not shown.

DESIGN TEAM

HOLLADAY UT 84117

LAND PLANNING:

PO BOX 951005

SURVEYING:

5554 W 2425 N

Nathan D. Pack, P.E.

Geotechnical Engineer

SETBACK AREAS.

HAZARD AREA.

ANY RIDGE LINES PER TITLE 16.

HOOPER, UT 84315 801-792-1569

: 801-432-7050

CIVIL ENGINEERING,

BOUNDAYR CONSULTANTSS

dave@coundaryconsultants.biz

435-757-2844, nate.pack@cmtlaboratories.com

CERTIFICATIONS

ENVIRONMENTAL, SOILS/GEOLOGY:

THROUGH THE US ARMY CORPS OF ENGINEERS.

CIVIL ENGINEERING,

CLIENT/DEVELOPER/

LAND OWNER HOMES LAKEVIEW ESTATES LLC

SOUTH JORDAN, UTAH 84095

2265 E MURRAY HOLLADAY ROAD

CIVIL ENGINEERING:

801-433-0774

CONTRACTOR:

HE DEVELOPER OF THE LAKEVIEW ESTATES PROJECT HEREBY CERTIFIES THE FOLLOWING:

OVER 25% GRADE. CERTAIN ISOLATED AREAS OF THE PROPERTY INCLUDING SINGLE FAMILY

LOTS WILL WILL INVOLVE CONSTRUCTION ON THE SLOPES OVER 25% BUT LESS THEN 30%

DEVELOPMENT OVER 30% SLOPE WILL BE PERMITTED UNLESS APPROVED BY THE BOARD OF

. THAT THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT WITHIN ANY FAULT LINE

THAT THE PROJECT WILL NOT CONSIST OF DISTURBANCE OF ANY WETLAND AREA WITH OUT

THAT THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT WITHIN ANY FLOOD HAZARD

THAT THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT WITHIN ANY AREAS WHICH

CONTAIN ALLUVIAL FAN. FLOOD DEBRIS FLOW OR COLLAPSIBLE SOIL HAZARD AREAS UNLESS

SHALLOW-GROUND WATER HAZARD AREAS, STREAM OR DRAINAGE CORRIDOR SETBACKS, AREAS

OF SPRINGS OF SEEPS, OR SURFACE WATER AREAS EXCEPT AS SPECIFICALLY SHOWN ON

. THAT THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT WITHIN ANY AREAS WHICH

. THAT THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT WHICH WILL PROTRUDE ABOVE

ARE RECOMMENDED LOCATIONS FOR DETENTION BASINS OF ESTABLISHED ROAD AND UTILITY

PROJECT PLANS INCLUDING PROPER ENGINEERING DESIGN FOR THE CONVEYANCE OF ANY

SPECIFICALLY ADDRESSED AND RECOMMENDED BY PROJECT SOIL ENGINEER GEOLOGY

. THAT THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT WITHIN ANY

APPROVAL OF THE US ARMY CORPS OF ENGINEERS. SOME MINOR AREAS OF WETLANDS AND

IMPACTED MAINLY BY ROADWAYS AND WILL REQUIRE PERMITS AND WETLAND MITIGATION

. THAT THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT WITHIN ANY LANDSLIDE

WILL BE PROVIDED FOR ALL PROPOSED GRADING AND BUILDING CONSTRUCTION. NO

HIDEOUT TOWN. ONLY 30% AND GREATER ARE SHOWN ON THE PLAT. GEOTECHNICAL STUDIES

THE MAJORITY OF THE PROJECT WILL NOT CONSIST OF ANY DEVELOPMENT ON THE SLOPES

F: 801-432-7050

SOUTH JORDAN, UTAH 84095

7. Contractor shall be responsible for all public safety and OSHA standards.

8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines. Discrepancies need to be reported to Owner and Civil

9. Communications, gas, electrical and cable utilities to be installed outside of pavement. See road cross section on page D-1

10. The following is only a portion of the JSSD Code. All sewer pipe will conform to Jordanelle Special Services District Design Standards Section 300, the Utah public Rules R317-3, Uniform plumbing Code, latest edition.

11. PVC sewer pipe shall be installed as per ASTM D 2321 and/or ASTM D 2855 as applicable. All PVC pipe is to be laid straight in line.

12. HDPE pipe to be installed as per manufacturers recommendation. HDPE is to be used on some curves at a minimum of 5% slope and as per manufacturers recommendation and these plans.

13. All sewer lines shall be installed with tracer wire of 12 gauge, 600 volt copper wire, PVC jacketed for underground services. The wire will be secured continuously along the alignment of the pipe and at all service connections at 20ft intervals. Contractor shall bring loops of the tracer wire to the top of all cleanouts and manholes. Tracer wire is subject to District inspection.

14. Sanitary sewer laterals shall extend past the ROW into each lot 5 feet. Laterals deeper than 15 feet shall extend past the ROW into each lot 10 feet. Minimum slope for sewer laterals is 2%. All sewer laterals require 2 cleanouts minimum as per JSSD Section 307.4. All sewer laterals will be inspected by District before backfill.

15. A warning tape will be buried 1 to 3 feet above each lateral.

16. Immediately following installation of the lateral, sewer lateral markers (rebar) are to be installed by the contractor at the end of each lateral. The marker is to be placed at the end of the plugged lateral and extended upward 2 feet above the grade, painted green, and is to be visible at Final Construction Approval.

17. The end of the lateral shall be referenced with horizontal distance ties to property corners.

In the event that markers are lost during construction activities the markers and off-set hubs shall be reset using acceptable survey practices.

18. An "S" will be stamped on the curb for location of sewer laterals.

19. The following is only a portion of the JSSD Code. See all Jordanelle Special Services District Design Standards Section 400 for culinary water materials and

20. All culinary water lines shall be ductile iron (as per JSSD 403.2.2) rated ANSI/AWWA C150/A21.50 for a minimum of 150 p.s.i. rated working pressure plus 100 p.s.i. surge allowance at a 2to1 factor of safety. Ductile iron pipe shall be a thickness class of 50. The pipe shall have standard asphaltic coating on the outside and shall be lined on the inside cement mortar lining conforming to ANSI/AWWA C104/A21.4.

21. All ductile iron pipe shall be manufactured in the U.S.A. in accordance with the lates revision of ANSI/AWWA for appropriate class.

22. A minimum depth for culinary waterlines from the final grade to the top of the pipe is 7 feet, unless otherwise noted on the plan and profile sheets.

23. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 18 inches vertically (in times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 18 inches from the waterline.

24. All ductile iron valves, hydrants, and buried fittings shall be wrapped with polyethylene wrap. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings.

25. Corporation stops will be of brass with compression fittings in accordance with AWWA Standard C800. Hot taps are preferred for service laterals with a minimum of 48" between 1-1/2" taps Use double strap bronze

All service laterals will be polyethylene conforming to AWWA Standard C800, and ASTM B88. Meter yokes for 1-1/2" lateral will be Ford VF-66 series. Meter fittings will be standard thread.

All meter boxes will be 48" diameter with a frost free cast iron lid. A 1-inch long, ¼ inch wide notch will be cut in each lid for telemetry wire. All top meters' lids shall have one, 1 inch tap and plug for each yoke, to facilitate the remote reading meters used in the District.

The Curb Stop and Curb Box will be a curb valve and cast iron extension-type curb box with arch pattern base with cast iron foot piece as manufactured by Mueller. Normally the meters are provided by the District.

Culinary water meters shall be placed at 10' back of curb with lateral extending an additional 5 feet toward

All culinary water service laterals shall be marked with a "W" on the curb.

11. The following is only a portion of the JSSD Code. See all Jordanelle Special Services District Design Standards Section 500 for irrigation water crossover, materials and

10. Corporation stops will be of brass with compression fittings in accordance with AWWA Standard C800. Hot taps are preferred for service laterals with a minimum 48" between 2-inch taps. Use double strap bronze service straps.

All service laterals will be purple polyethylene CTS 200 p.s.i. minimum, conforming to AWWA Standard C800, and ASTM B88.

All irrigation meter boxes will be 24-inch x 36-inch for a single 2" meter installation; (refer to Standard Drawing 500.4) The lid will not be required to be frost free. A 1-inch long, ¼ inch wide notch will be cut in each lid for telemetry wire. All top meters' lids shall have one, 1 inch tap and plug for each yoke, to facilitate the remote reading meters used in the District.

The Curb Stop and Curb Box will be a curb valve and cast iron extension-type curb box with arch pattern base with cast iron foot piece as manufactured by Mueller. Normally the meters are provided by the District.

Hot taps are preferred for service lines. Mechanical joint ductile iron tapping sleeves may be used for ductile iron type mains.

Irrigation water meters shall be placed at 10' back of curb with lateral extending an additional 5' toward the

All irrigation laterals shall be marked with an "I" on the curb.

MISC CONSTRUCTION NOTES

HIDEOUT TOWN FOR A PRE-CONSTRUCTION CONFERENCE.

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: 19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING HÍDEOUT TOWN CONSTRUCTION AND DESIGN STANDARDS. AND ALL AMENDMENTS TO DATE. THE MANUAL OF UNIFIED TRAFFIC CONTROL DEVICES. (M.U.T.C.D.). UTAH DEPARTMENT OF TRANSPORTATION (U.D.O.T.) STANDARDS AND SPECIFICATIONS. (LATEST EDITION) AMERICAN ASSOCIATION TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (A.A.S.H.T.O). CONSTRUCTION STORMWATER FIELD RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR. GUIDE, AND THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (U.P.D.E.S). WHERE APPLICABLE. 2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT

3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.

4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.

THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS. PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR

7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM HIDEOUT TOWN AND UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT. BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.

9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER. OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTÉRS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR. OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OF DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED

INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION. 12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE

13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

14) THE CONTRACTOR AGREES THAT: A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH

WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

PHASE OF WORK. B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH. SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND

ORDERLY MANNER AT ALL TIMES. D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.

THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND. INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

16) DUST IS TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE. WITH A WATER TRUCK.

17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROLIERS MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO

18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS. VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.

INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL

20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE

22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL FLECTRICAL AND INSTRUMENTATION FOUIPMENT: PIPING AND CONDUITS: STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS. ACCOMMODATIONS. AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

> DESCRIPTION: W 1/4 OF SECT. 17, T2S, R5E FOUND MONUMENT BRASS MON.

CLEARING AND GRADING NOTES:

CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH HÍDEOUT TOWN STANDARD SPECIFICATIONS, AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL

THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY

3) THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY, FOR ADDITIONAL EROSION CONTROL INFORMATION. SFF "FROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS. "SWPPP AND NOI REQUIRED TO BE FILED AND APPROVED WITH TOWN OF HIDEOUT PRIOR TO COMMENCEMENT OF CONSTRUCTION"

SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. COPIES OF THE SOILS REPORT MAY BE OBTAINED AT THE OFFICE OF XXXX ENGR. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL REARING VALUES AND PROFILES SOIL STABILITY AND THE PRESENCE LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

DEWATERING NOTES:

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED. SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE

4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT

FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES

(UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR

DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED

<u>UNDERGROUND UTILITIES:</u>

BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

GRADED TO DRAIN TO THE SUMPS.

THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO. SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, COMMUNICATIONS, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.

2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 (or 811) 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK, THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL THE CONTRACTOR SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A

4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRIC LINES, COMMUNICATIONS LINES FTC. WILL BE ENCOUNTERED AND IF SO, WHERE SLICH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL

5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.

6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:

* TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS * TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF HIDEOUT TOWN FOR H-20 LOAD REQUIREMENTS. 8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE JSSD DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO

9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF JSSD PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

10) WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.

11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.

12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

SURFACE IMPROVEMENTS:

1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTEC REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB-GRADE SHOULD BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 96 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS MOISTURE. 2) ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED

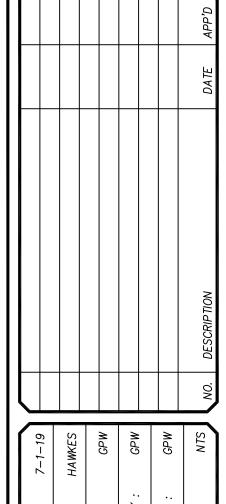
TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. IN PAVED AREAS. PROVIDE A 1 FOOT BY 1/2 FOOT CONCRETE COLLAR . SET CONCRETE COLLAR 3/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER HIDEOUT TOWN STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES. 3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS.

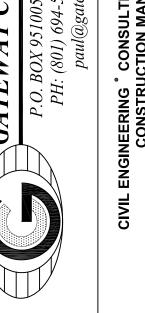
REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.

4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH HIDEOUT TOWN DEVELOPMENT GUIDELINES.

PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY OF HIDEOUT TOWN, AND UTAH POWER TO HAVE THE ELECTRICAL SYSTEM UTAH POWER AND ALL STREET LIGHTS ENERGIZED.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING. 7) STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW

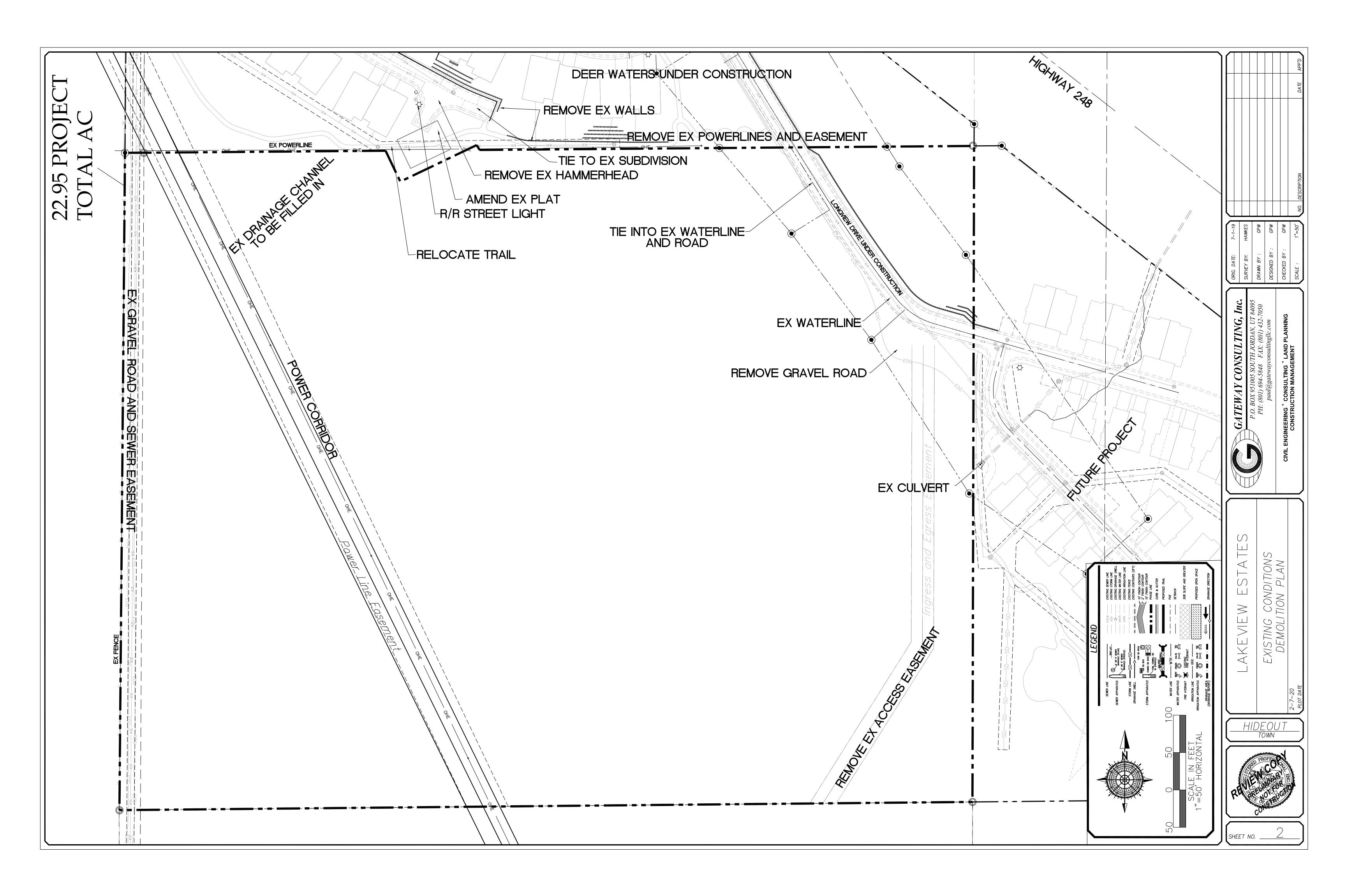


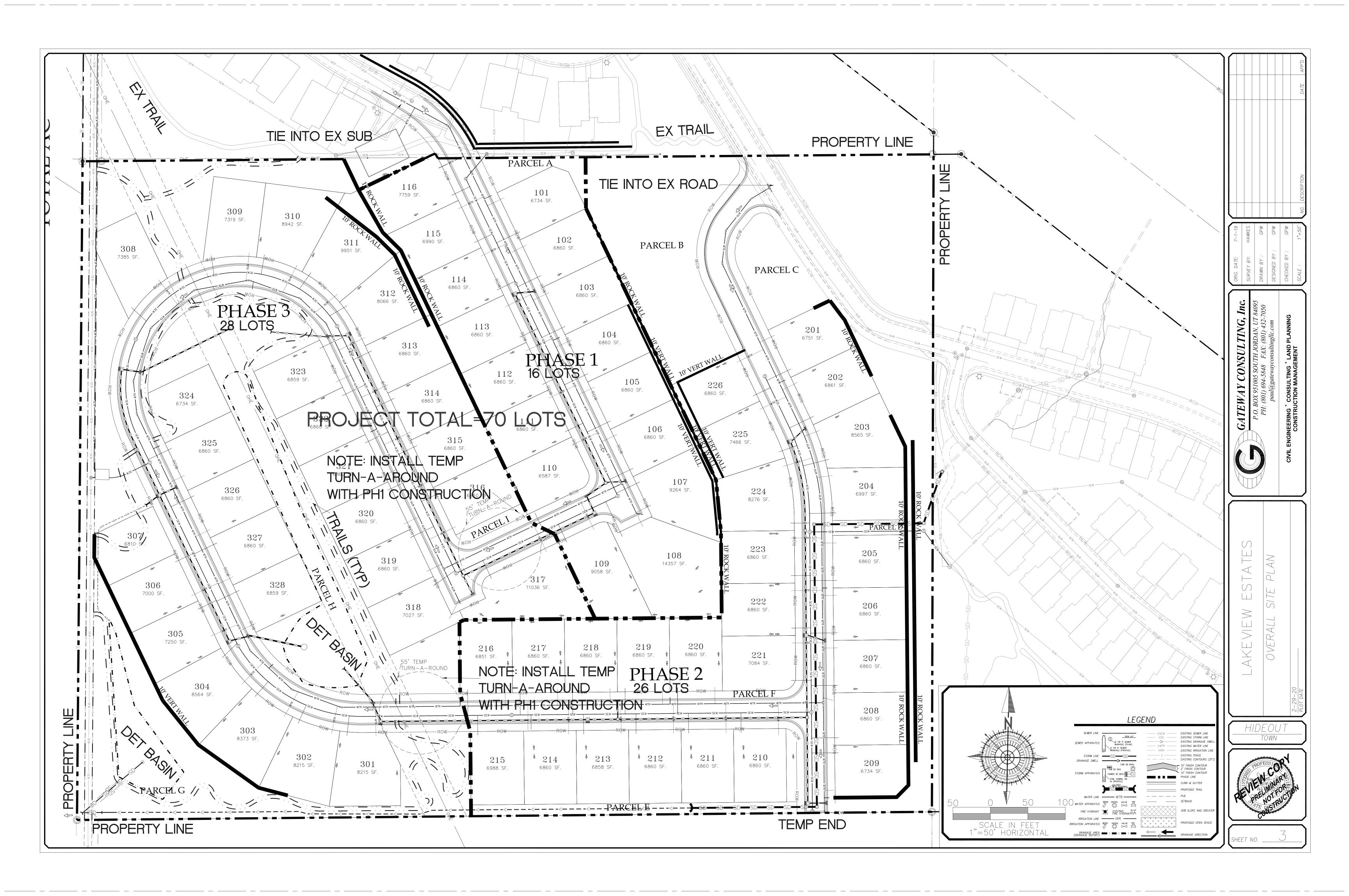


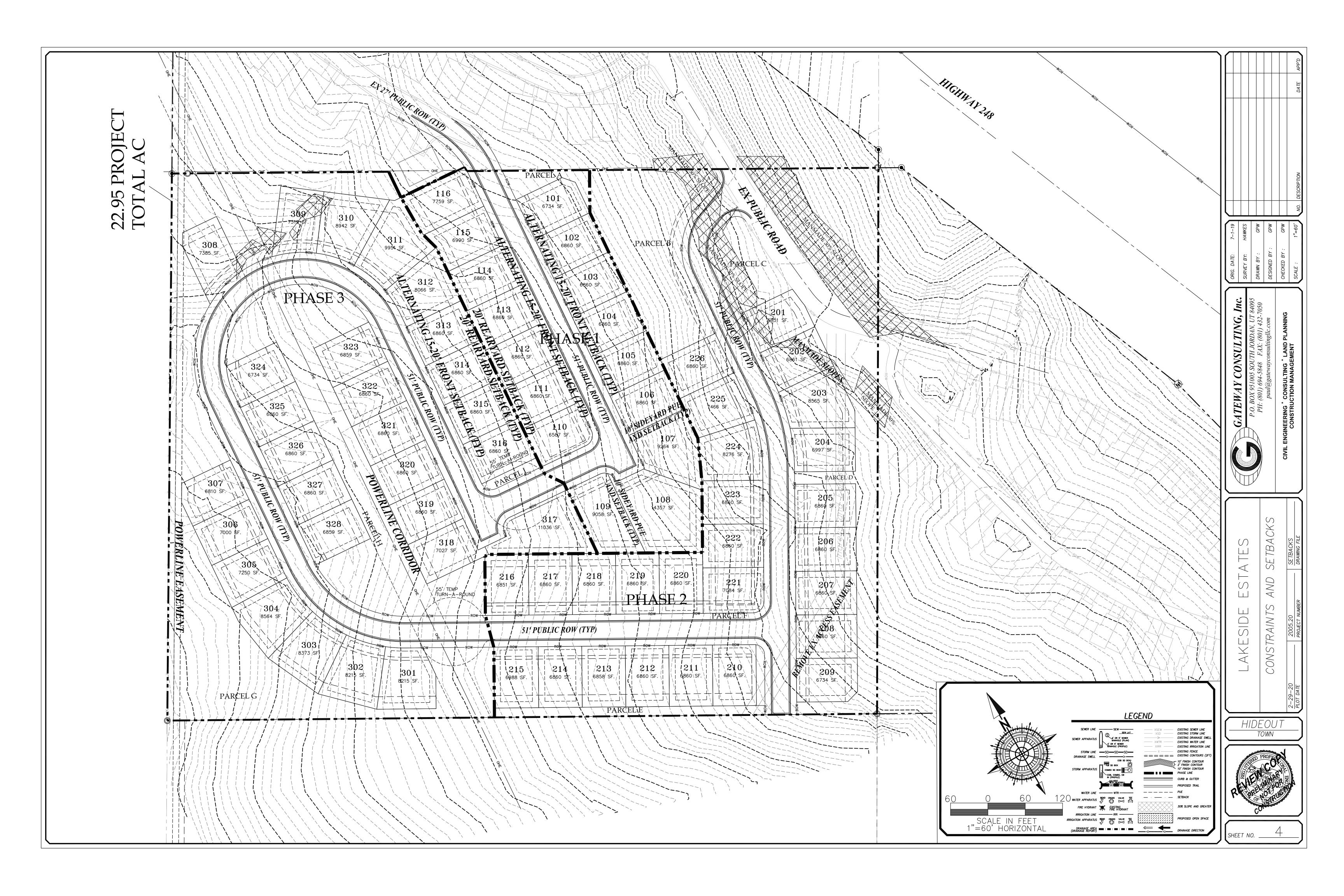
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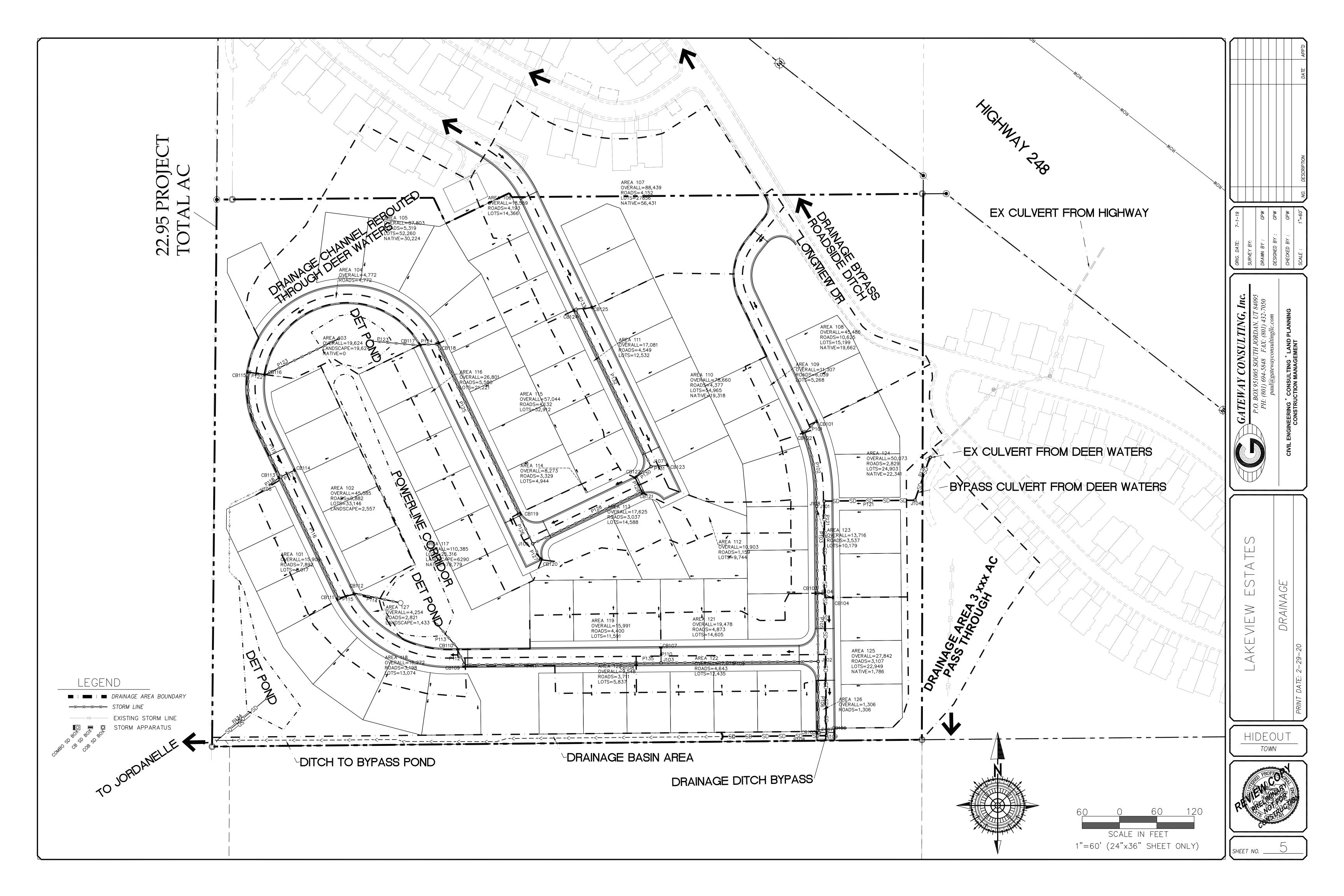


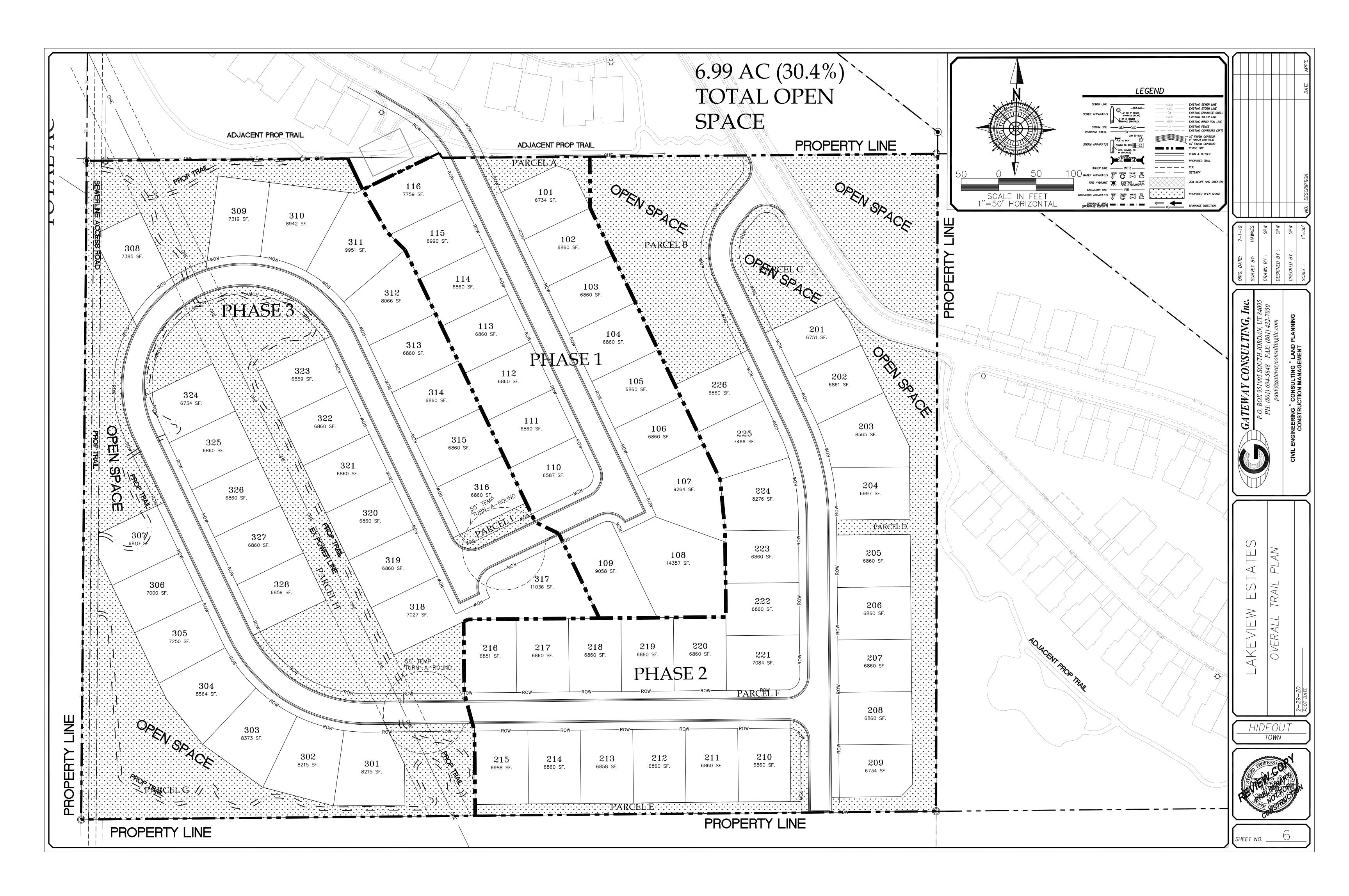


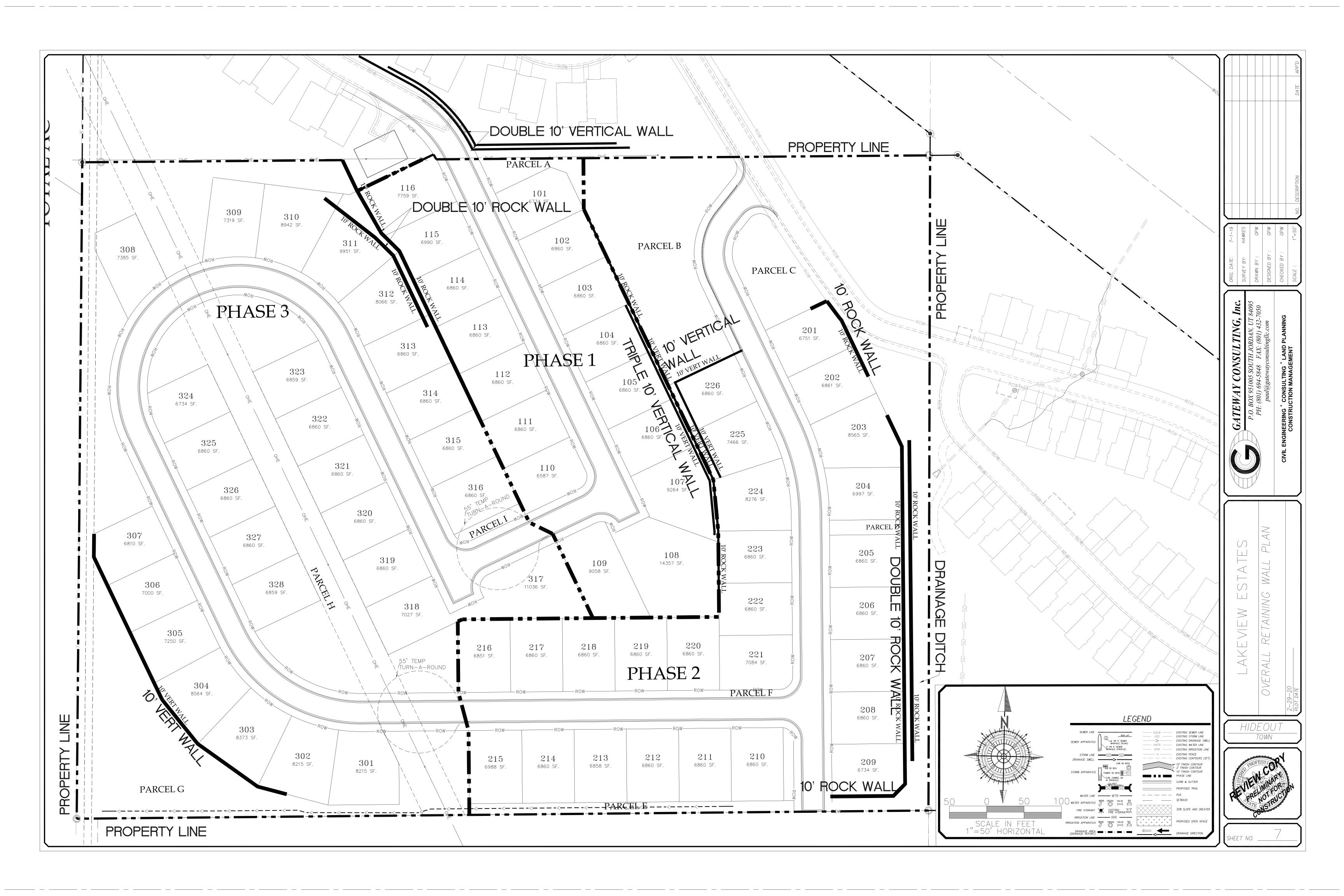


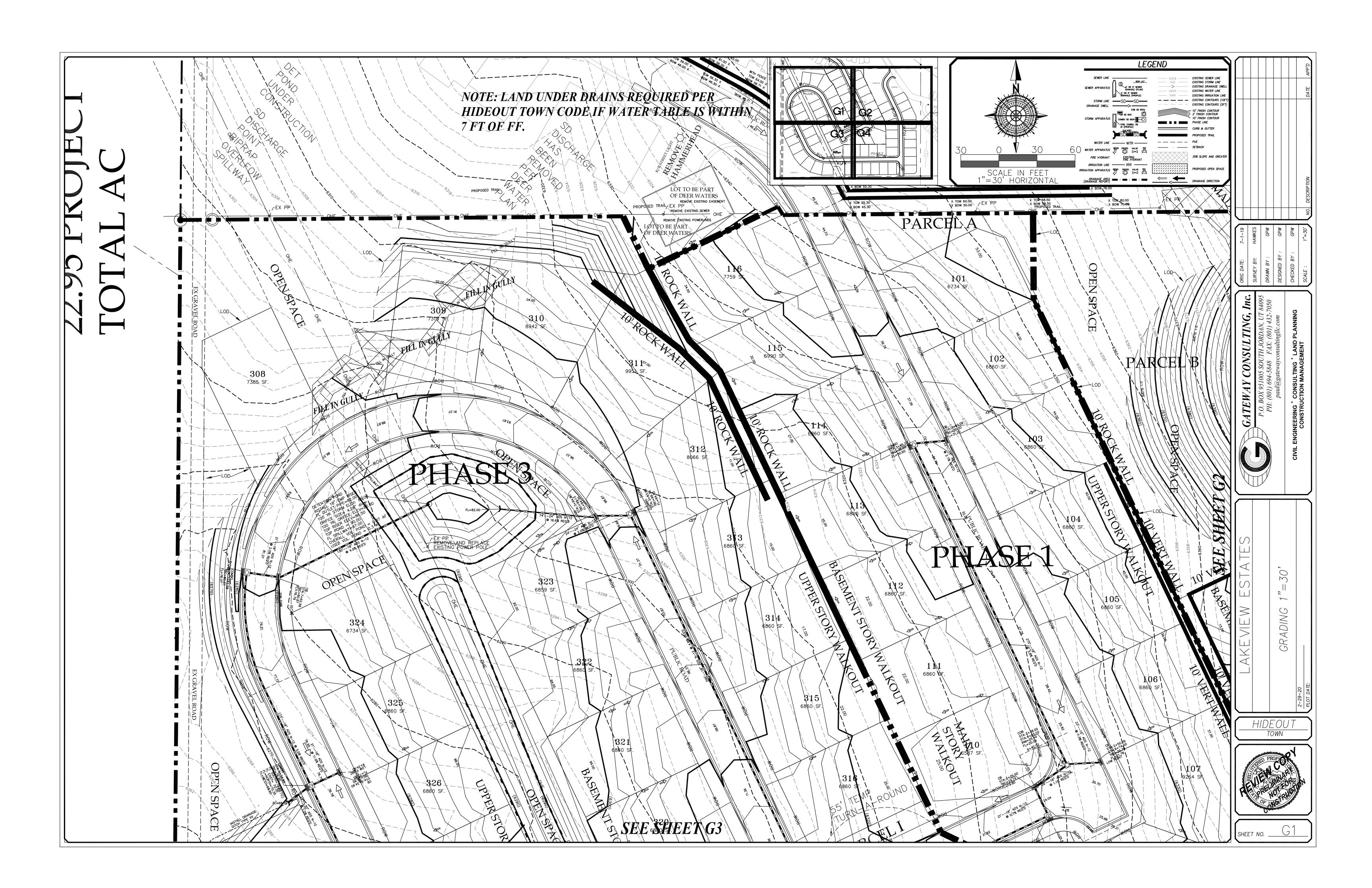


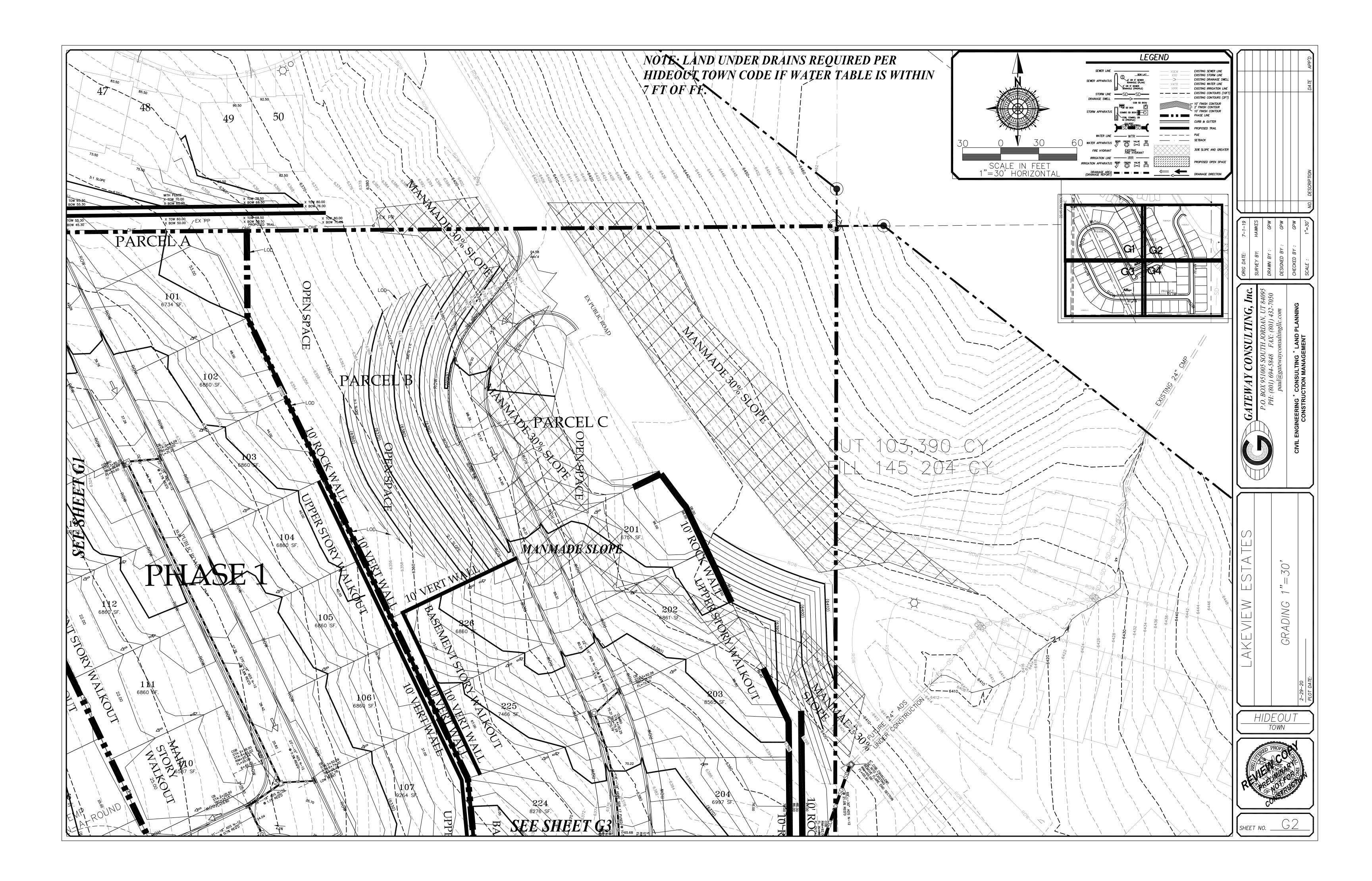


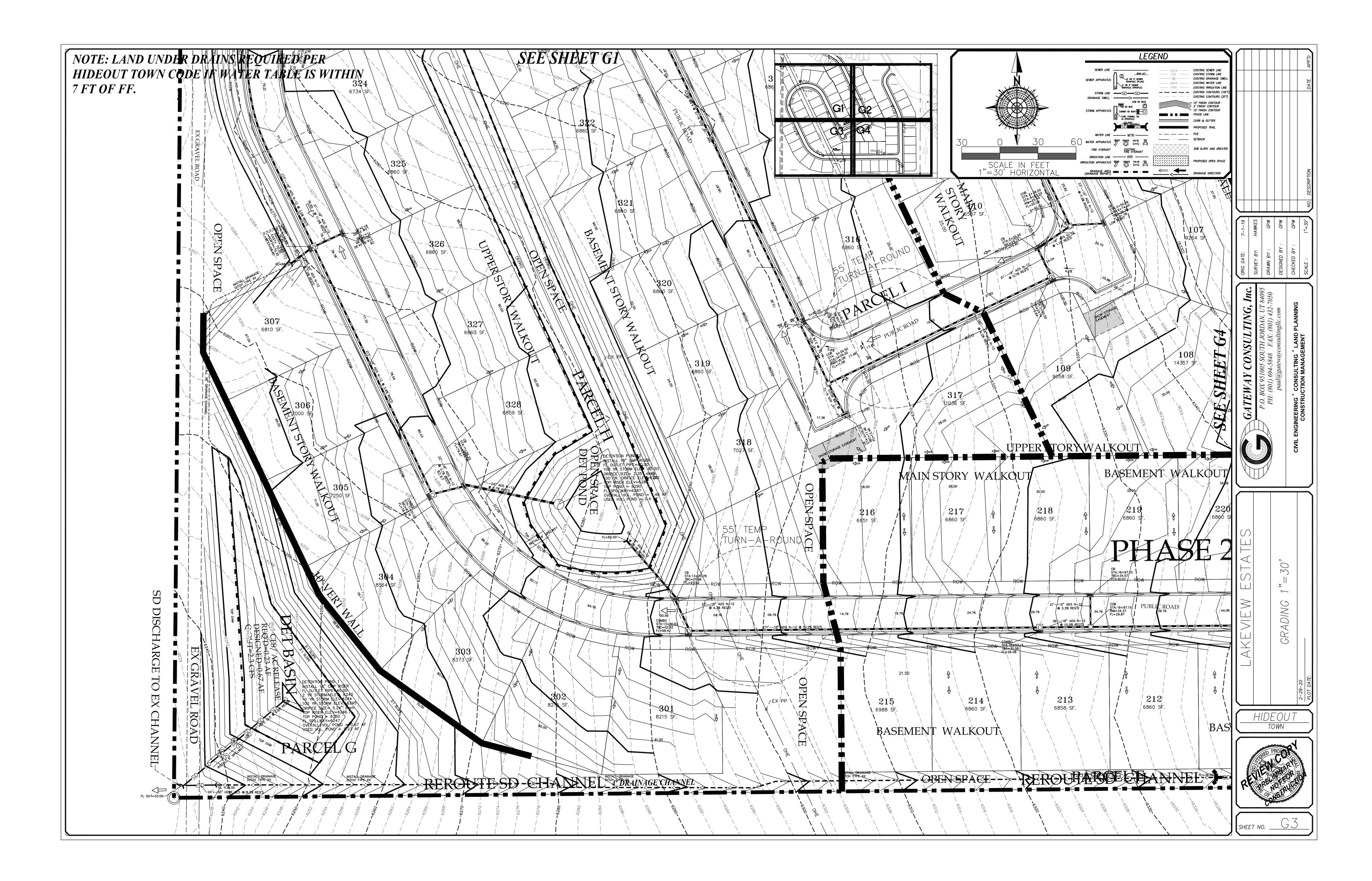


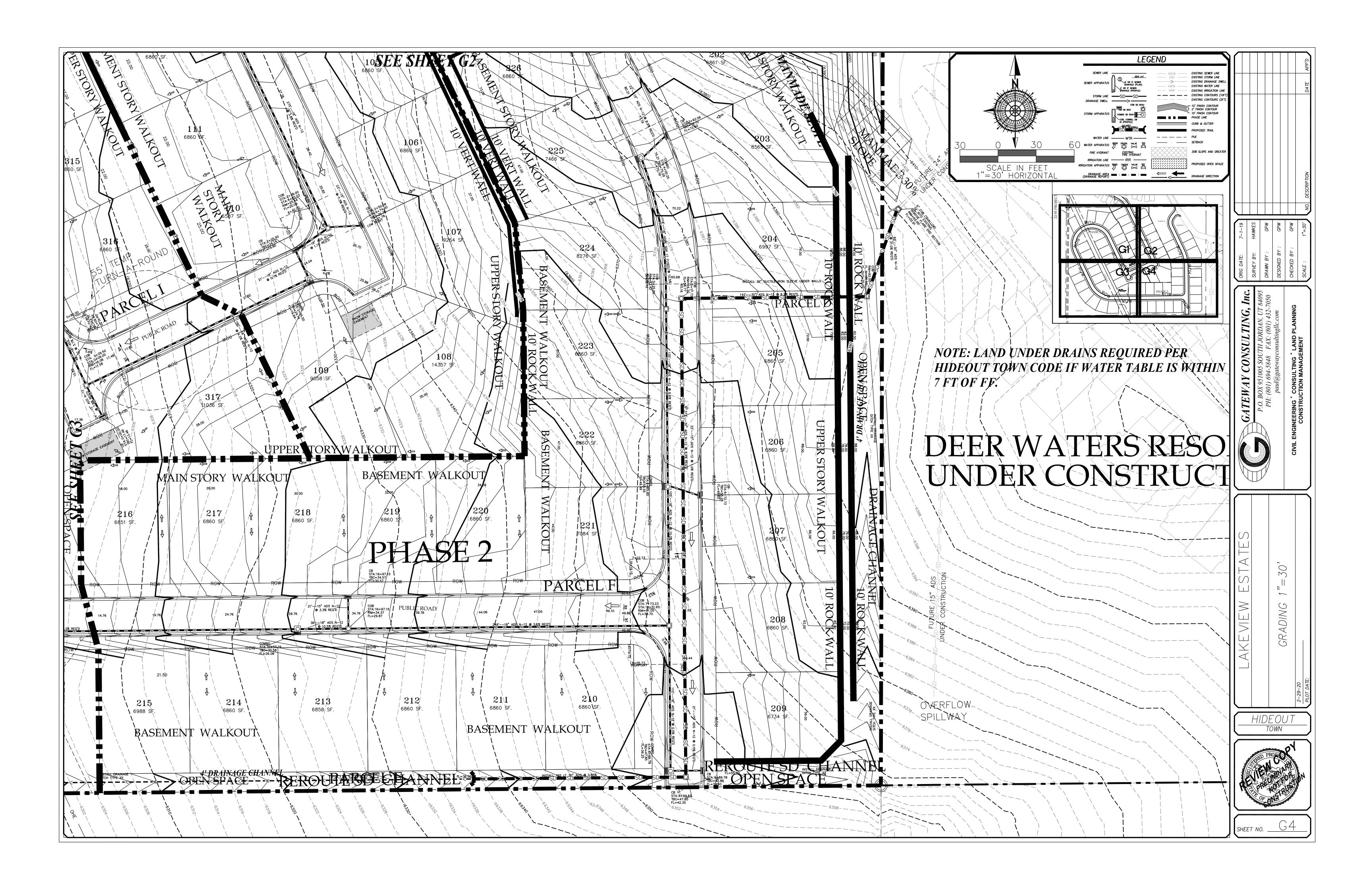


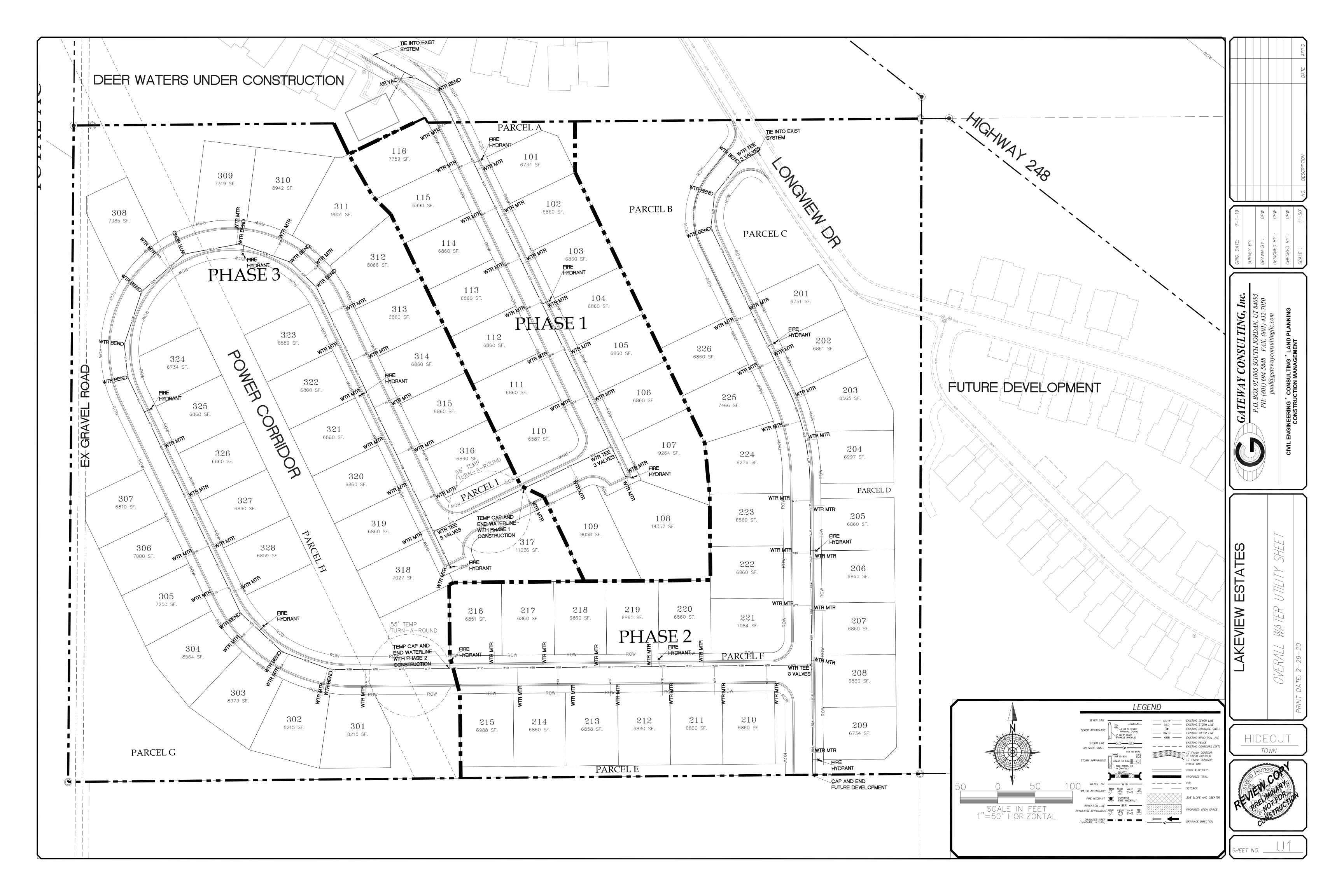


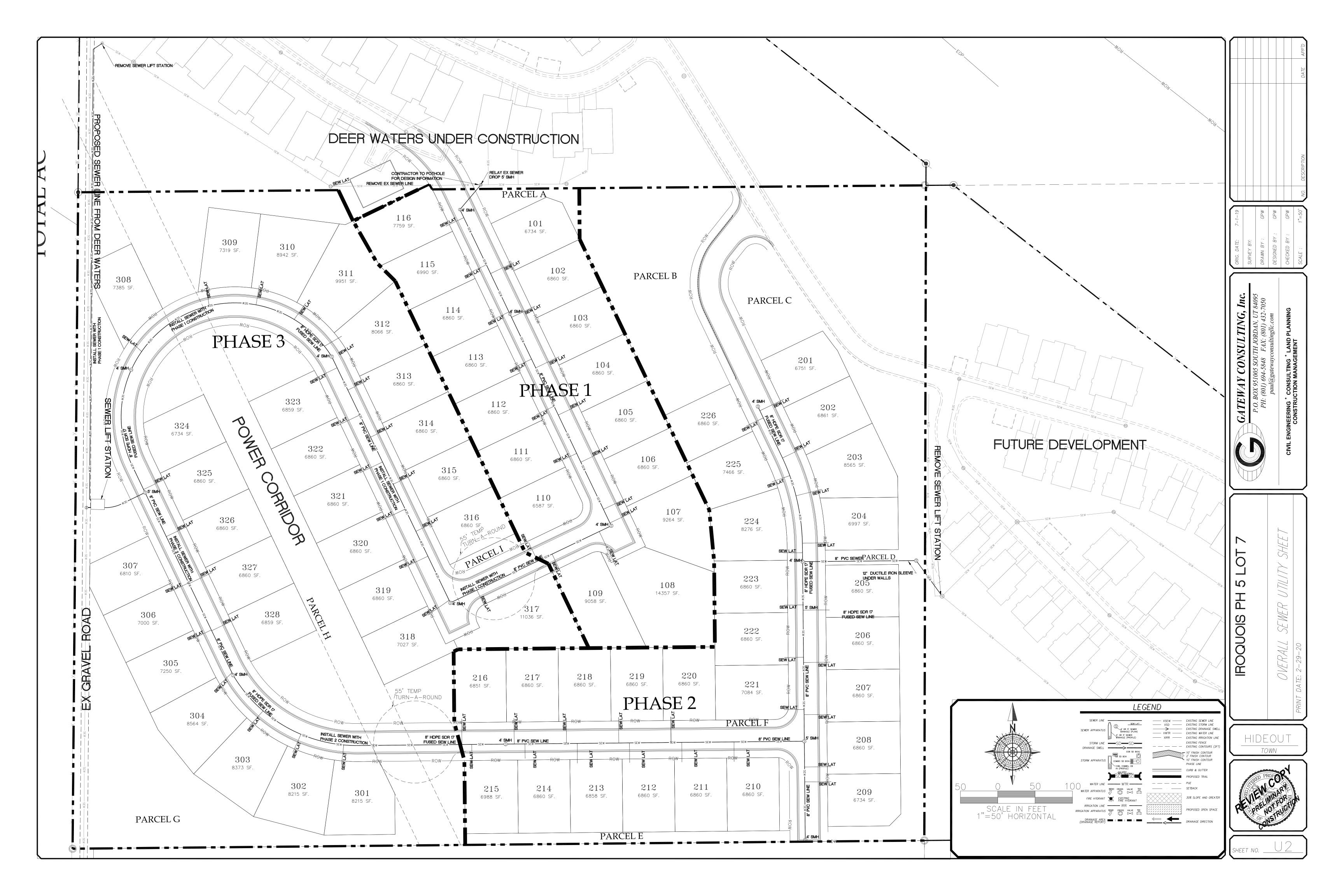


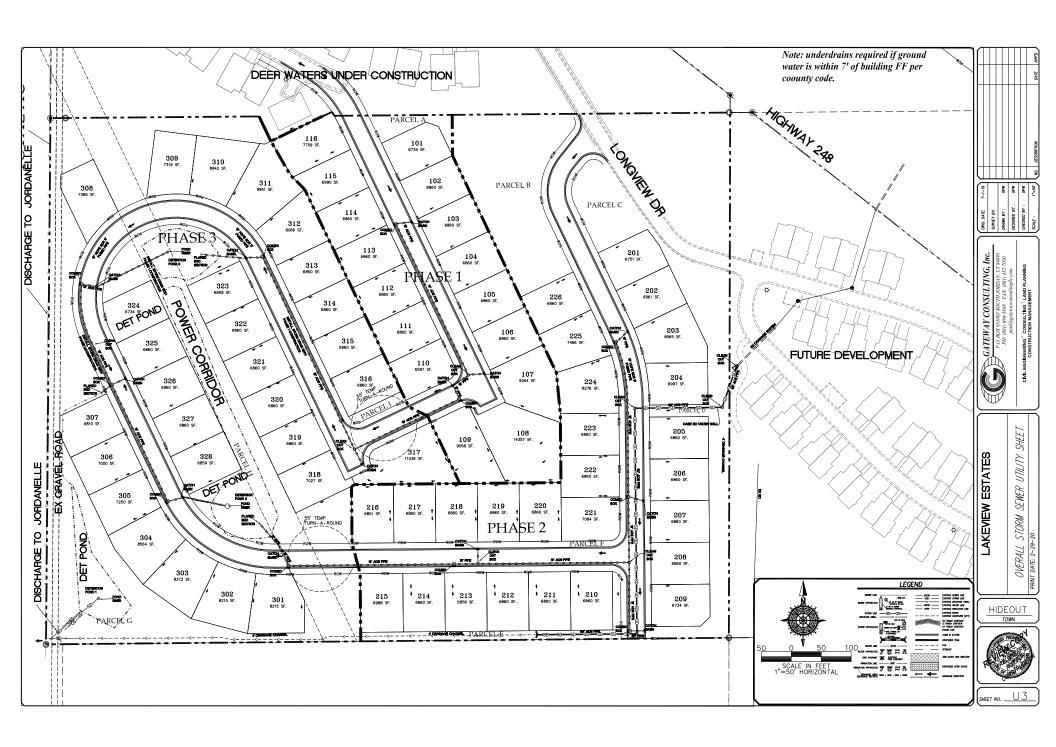


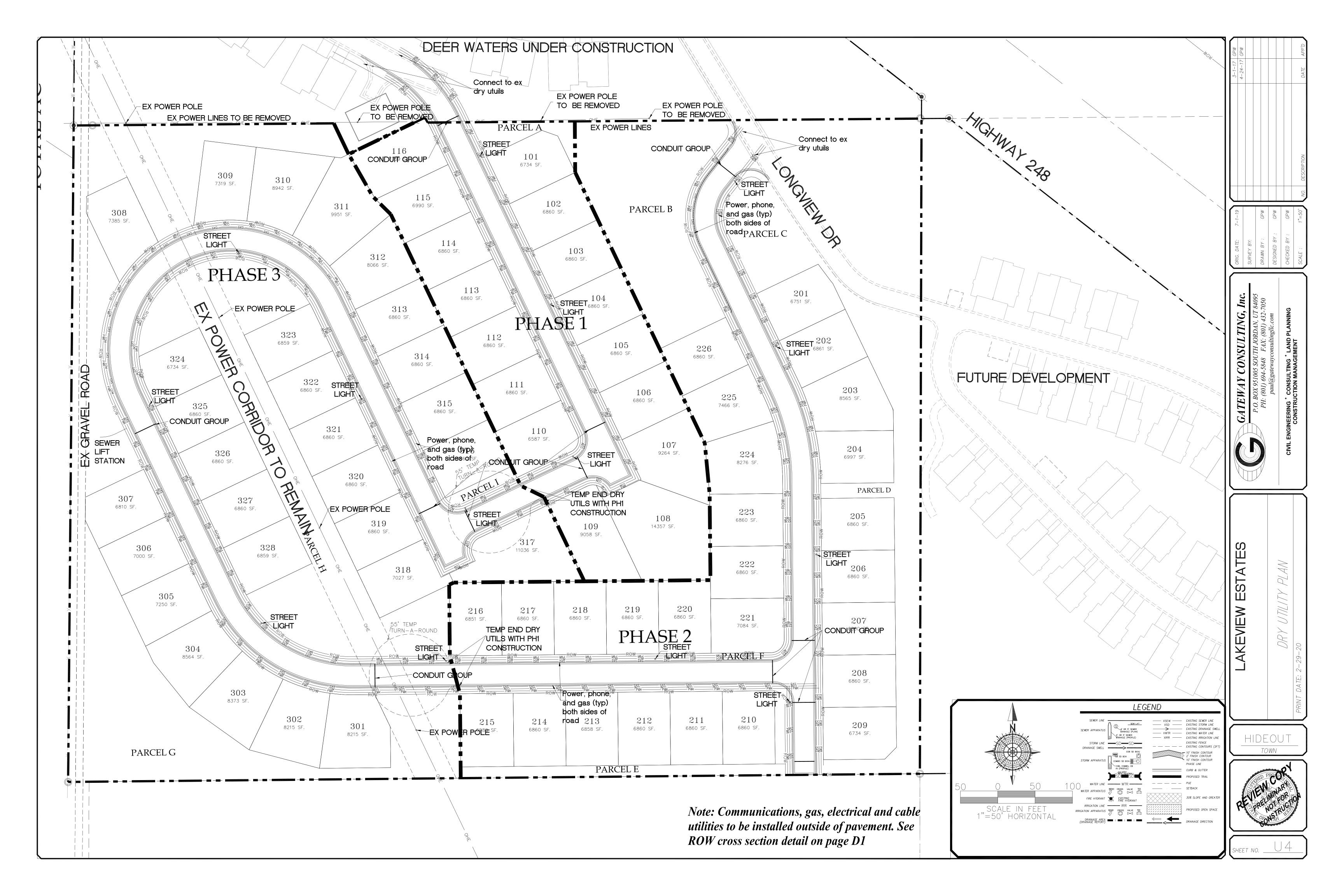


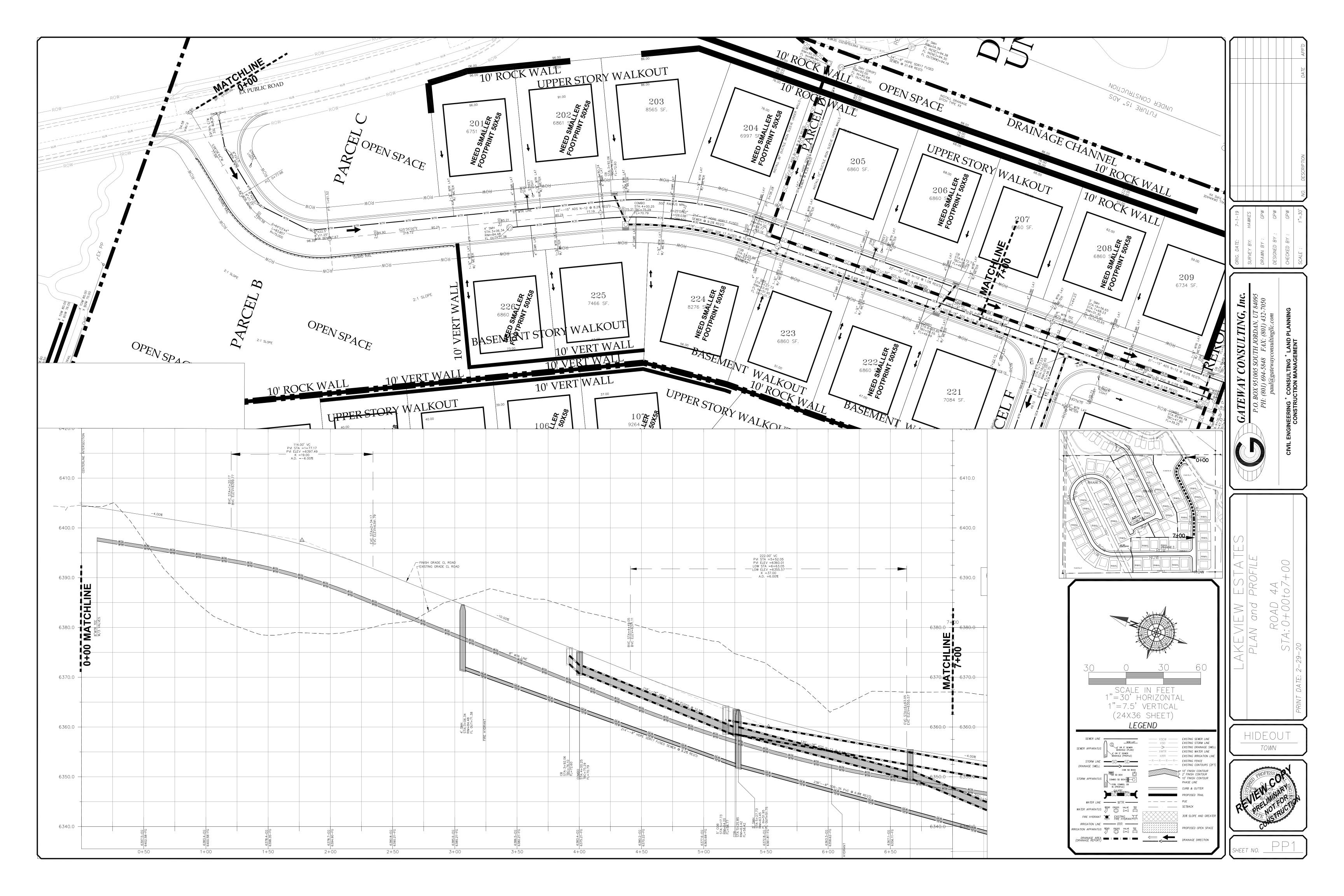


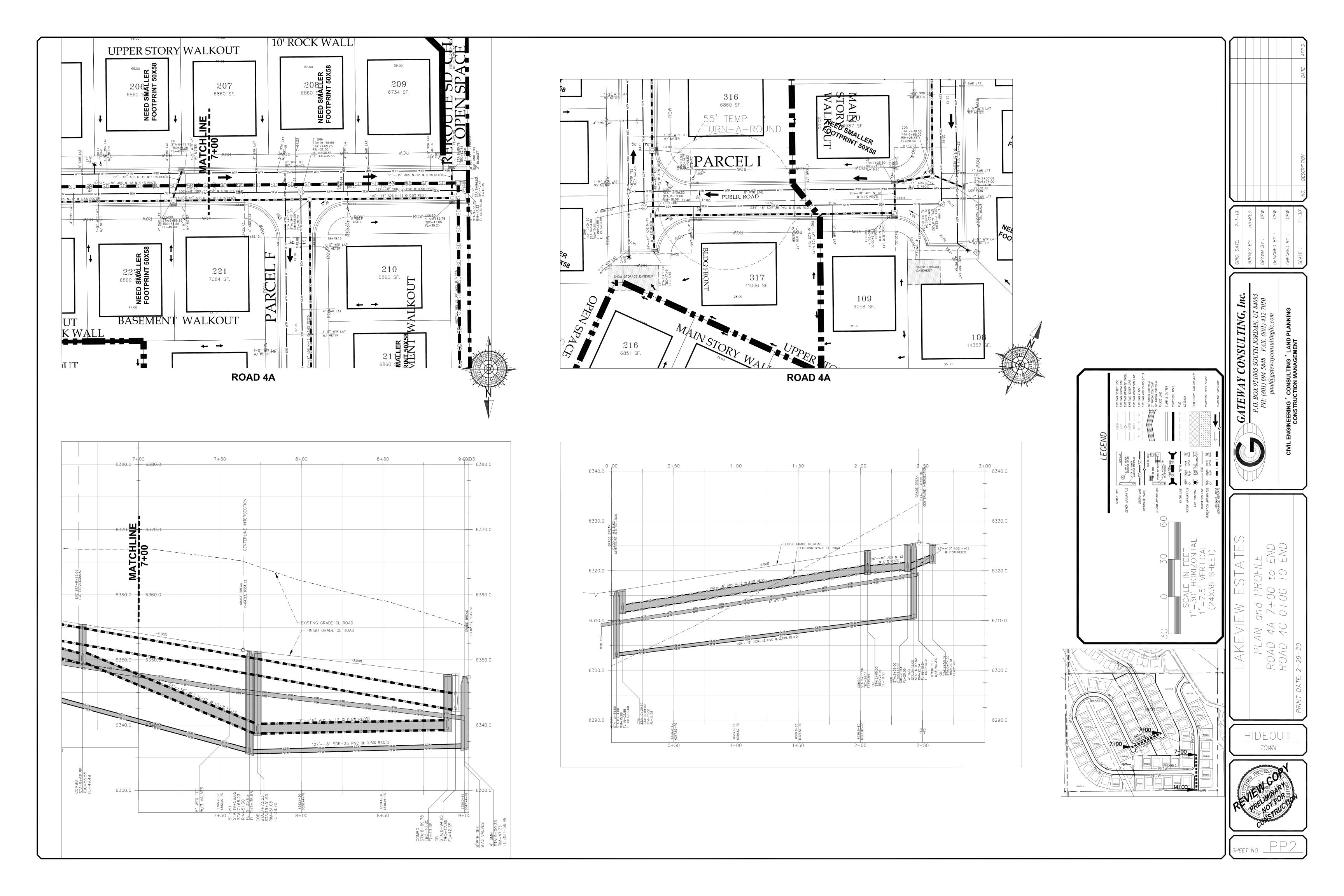


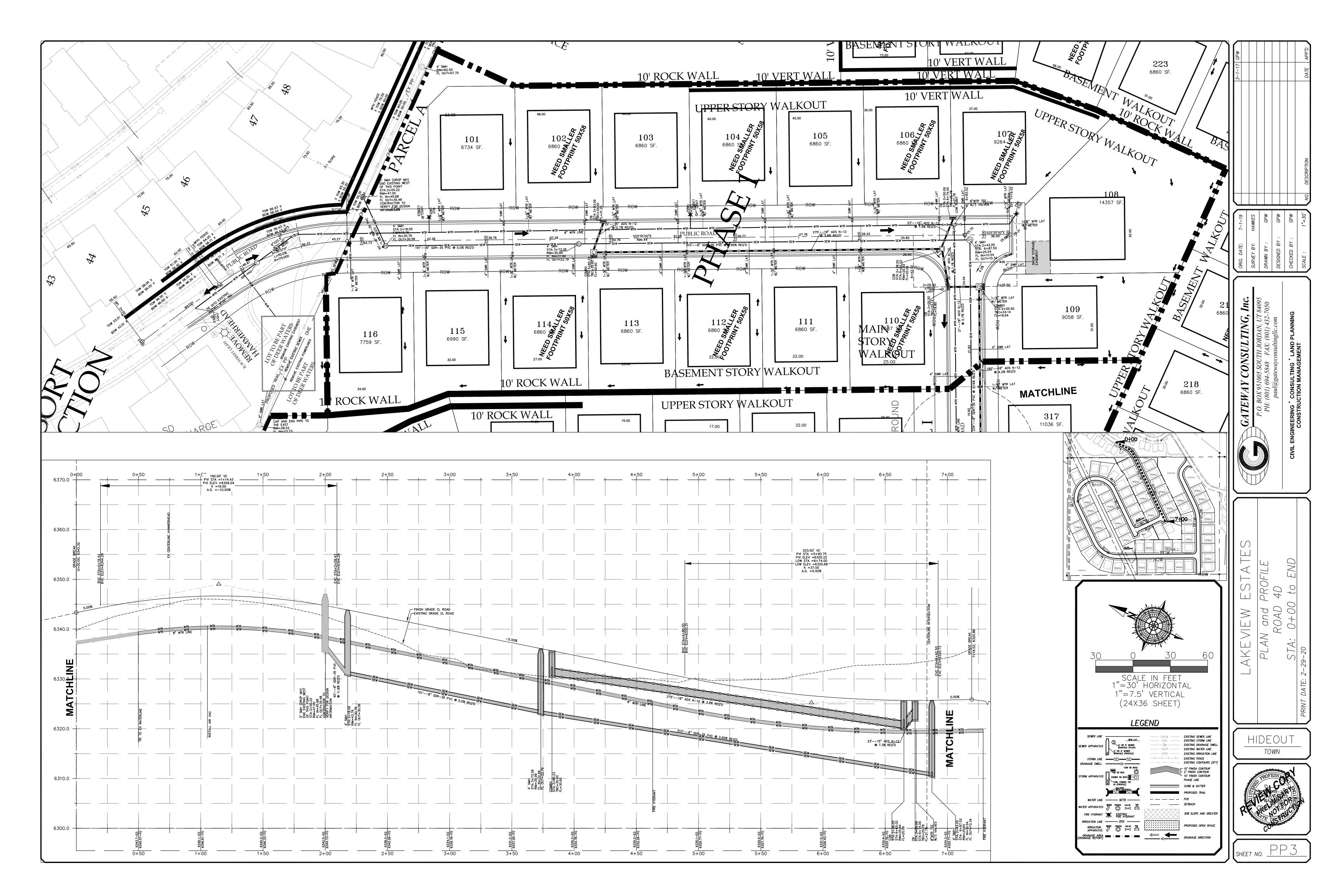


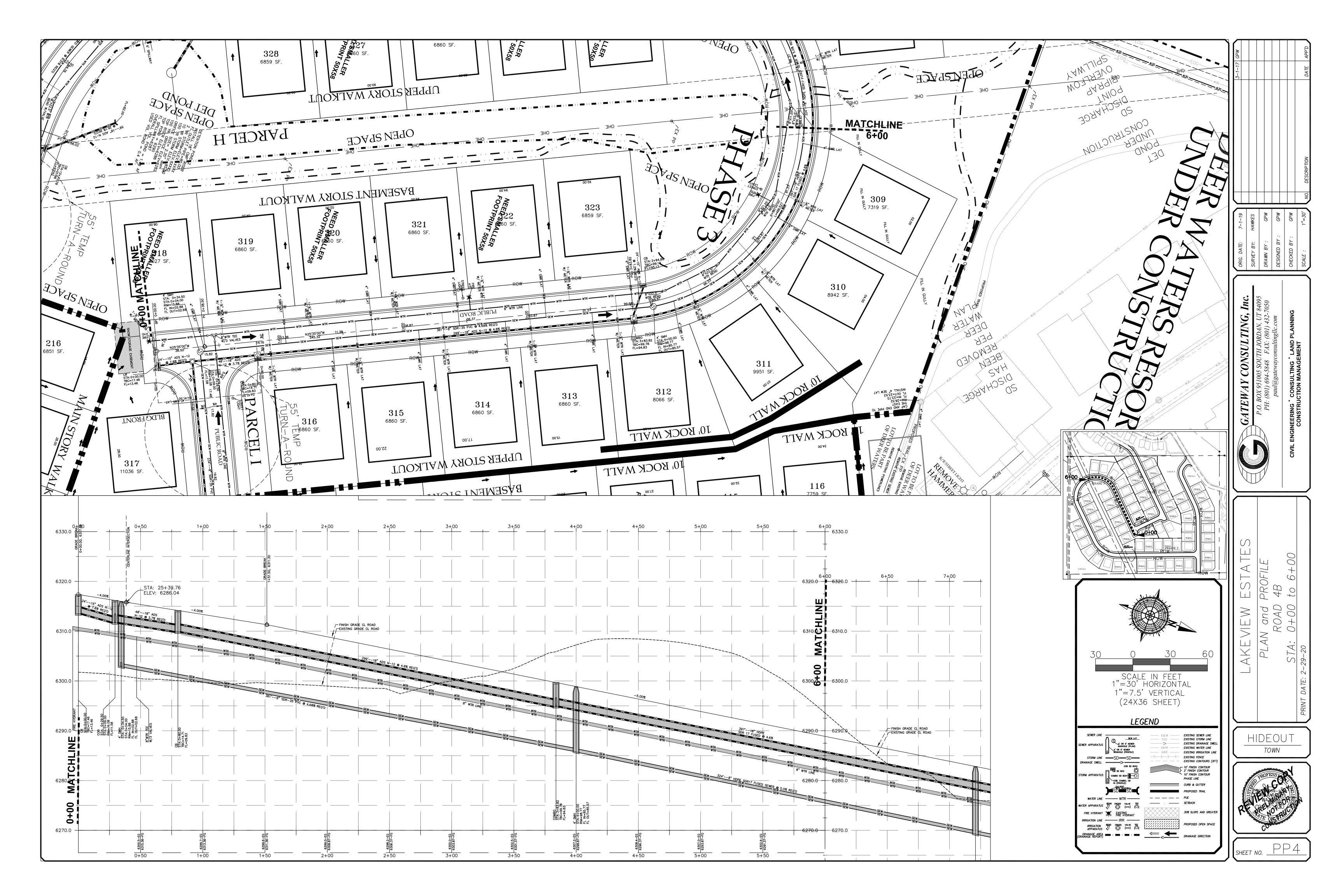


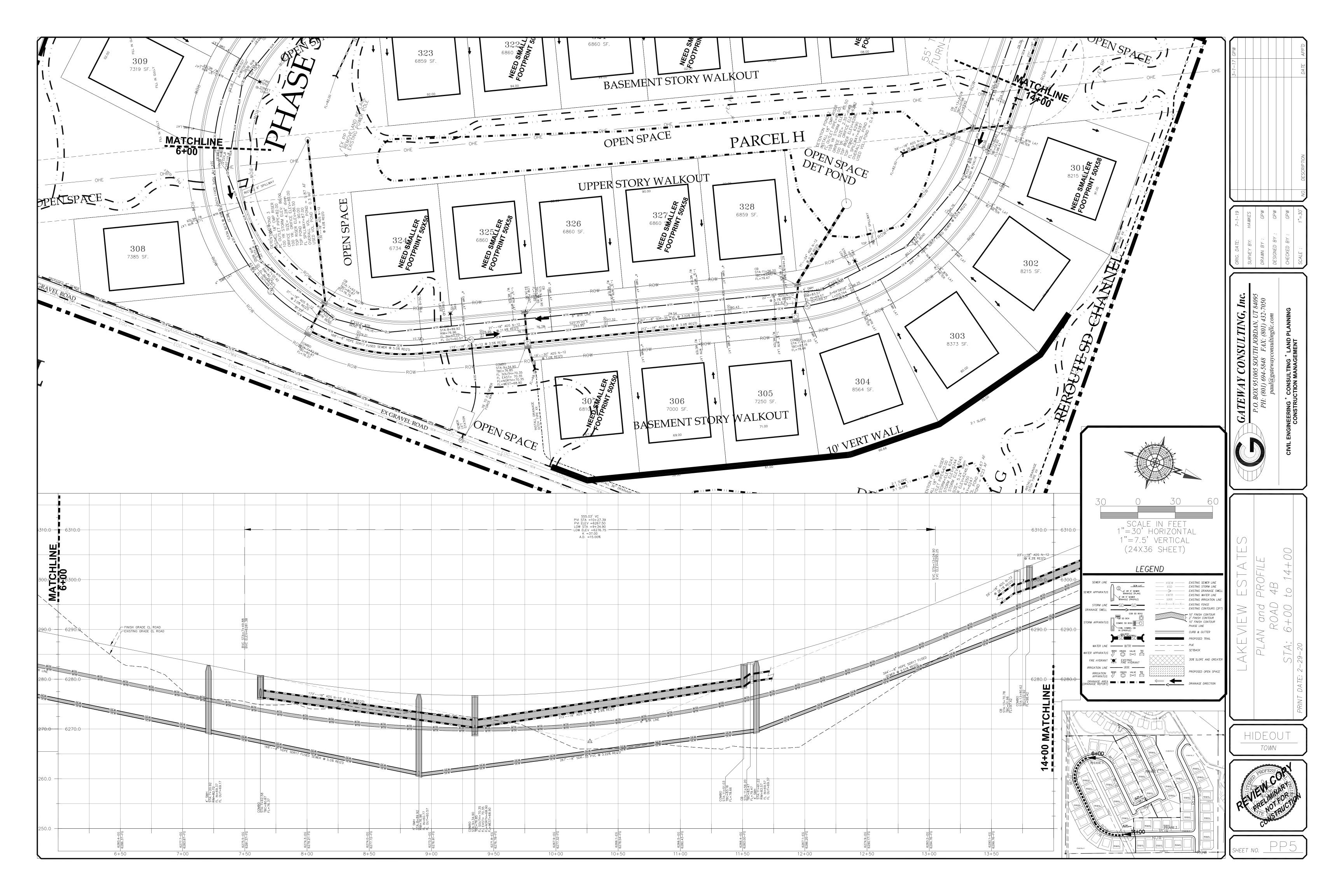


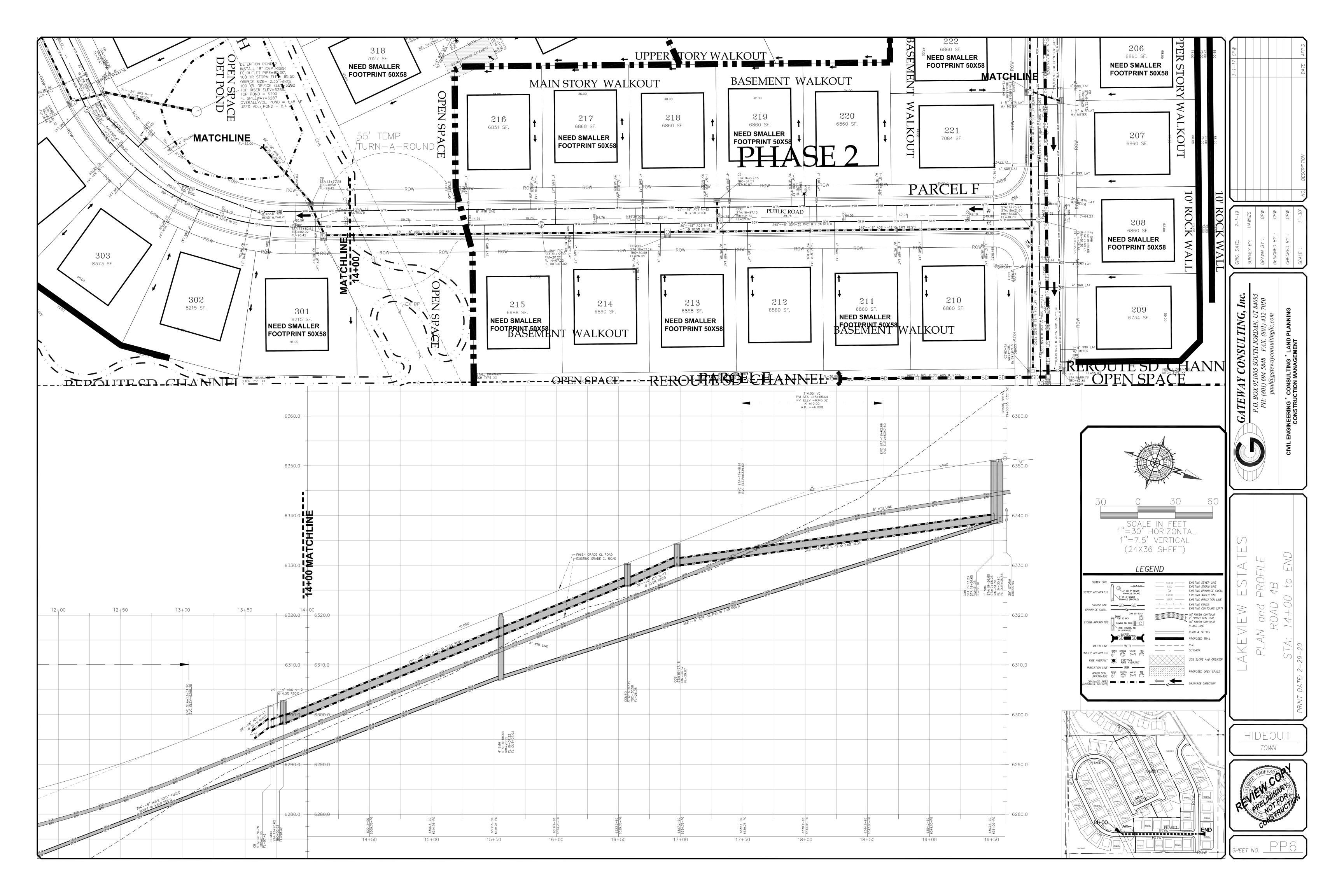


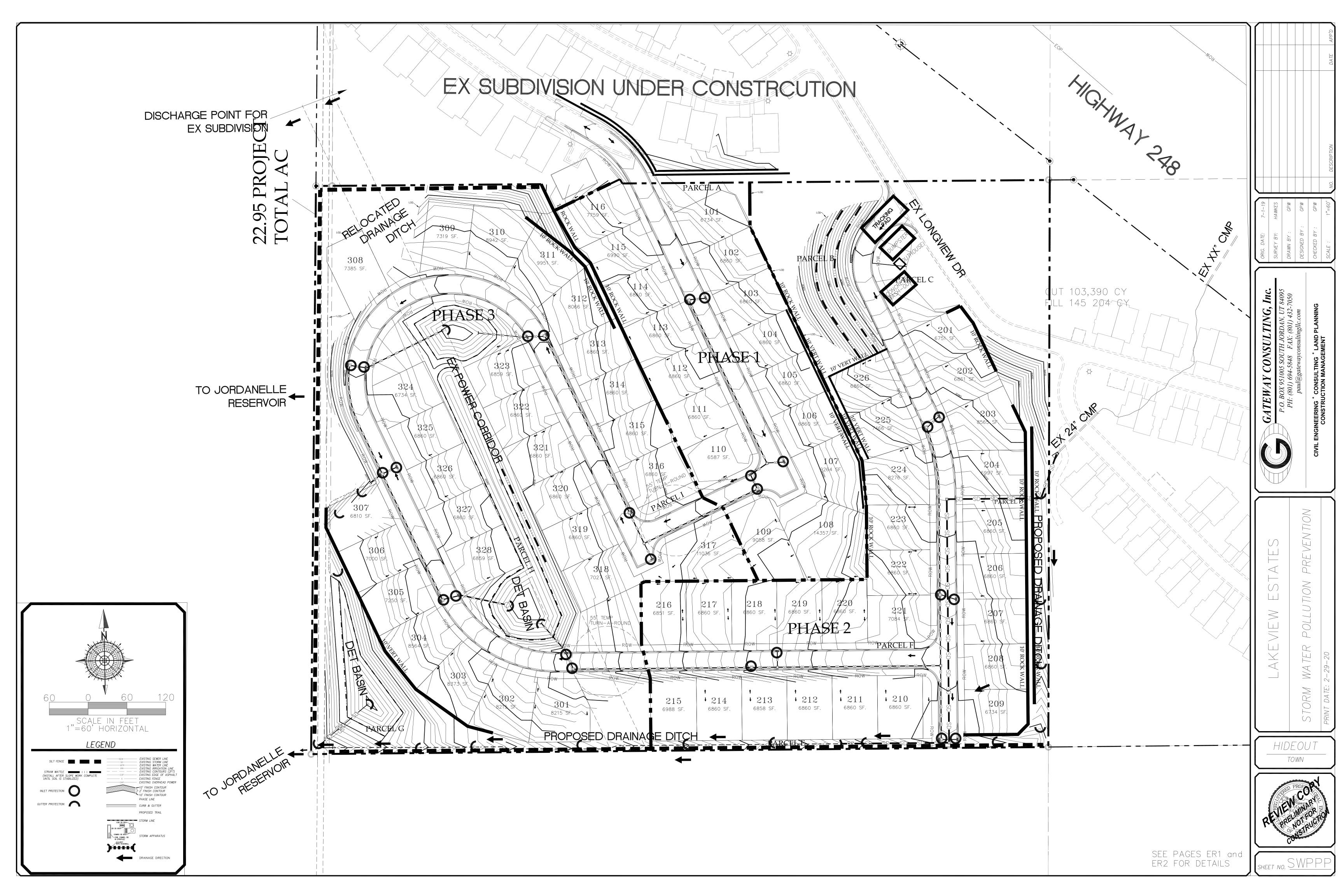












GENERAL EROSION CONTROL NOTES

- GENERAL EROSION CONTROL NOTES:

 1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
- 2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE HIDEOUT TOWN PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVISES UPON INSPECTION OF PROPOSED FACILITIES.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE OF DEBRIS FROM TRAFFIC AND THE SITE.
- 4. CONTRACTOR WILL DISPOSAL OF BUILDING MATERIAL WASTE PROPERLY TO PREVENT POLLUTANTS AND DEBRIS FROM BEING CARRIED OFF—SITE BY WIND OR WATER
- 4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
- 5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.
- 6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN N PLACE UNTIL PAVEMENT IS COMPLETE.
- 7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.
- 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
- 9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST, THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE. DEVELOPMENT OF THE PROJECT.
- 11. ALL OFF—SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- 12. ALL MEASURES CONTAINED IN THIS PLAN TO BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE AREAS THEY ARE PROTECTING. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.
- 13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH—WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.
- 14. ALL DISTURBED AREAS AND SOIL PILES LEFT INACTIVE FOR AN EXTENDED PERIOD OF TIME WILL BE STABILIZED BY SEEDING (BETWEEN APRIL 1 AND SEPTEMBER 15 OR BY OTHER COVER SUCH AS TARPING OR MULCHING.
- 15. ALL SEDIMENT THAT MOVES OFF—SITE DUE TO CONSTRUCTION ACTIVITY WILL BE CLEANED UP BEFORE THE END OF THE SAME WORKDAY.
- 16. ALL SEDIMENT THAT MOVES OFF—SITE DUE TO A STORM EVENT WILL BE CLEANED UP BEFORE THE END OF THE NEXT WORKDAY.

ADDITIONAL EROSION CONTROL NOTES

- 1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL TERRAIN.
- 2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, HIDEOUT TOWN REVIEW ENGINEER AND HIDEOUT TOWN INSPECTOR. NO EXCAVATED MATERIAL WILL BE STORED IN ANY ROADWAY OR PROTECTED AREA AND WETLANDS.
- 3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS. CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE HIDEOUT TOWN ENGINEER.
- 4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.
- 5. ORGANIC MATERIALS WILL BE SEPARATED, REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.
- 6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, HIDEOUT TOWN REVIEW ENGINEER AND HIDEOUT TOWN INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.
- 7. NO BRUSH, TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.
- 8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO HIDEOUT TOWN ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL.
- 9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)

NATIVE	GRASSES	

NATIVE GRA	43363
% Pure	Grass Type
20.00	Hard fescue
15.00	Pubescent wheat grass
15.00	Orchard grass (sod forming)
15.00	smooth brom grass
20.00	Stream bank wheat grass (sod forming)
15.00	Western wheat grass

TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER.
REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.

- 10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.
- 11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.
- 12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.
- 13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.
- 14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.
- 15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- 16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:
- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
- HIDEOUT TOWN CODE
- UNIFORM FIRE CODE

- 17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.
- 18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR ROAD BASE MATERIAL.
- 19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.
- 20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.
- 21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND HIDEOUT TOWN SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.
- 22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.
- 23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.
- 24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.
- 25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

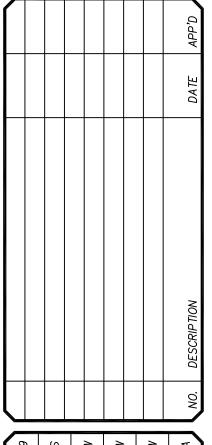
EROSION CONTROL BLANKET - ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL - PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW — COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

ELEVATION SEEDING WINDOW 4000 TO 6000 FT SEPT. 15 TO DEC. 1 ABOVE 6000 FT SEPT. 1 TO NOV 15

RIPRAP - PLACE STONES TO SECURE A ROCK MASS, CONFORMING TO THE GRADES AND DIMENSIONS SHOWN ON THE PLANS. DISTRIBUTE AND MANIPULATE THE STONES IN A MANNER THAT THE LARGER ROCK FRAGMENTS ARE UNIFORMLY DISTRIBUTED AND THE SMALLER ROCK FRAGMENTS SERVE TO FILL THE SPACE BETWEEN THE LARGER FRAGMENTS. PLACE IN A MANNER THAT RESULTS IN UNSEGREGATED, DENSELY PLACED, UNIFORM LAYERS OF RIPRAP OF THE THICKNESS INDICATED ON THE PLANS. EXCAVATE AT THE TOE OF THE SLOPE AND EMBED RIPRAP TO PROTECT AGAINST UNDERCUTTING. COMPACT PROPERLY PLACED LOOSE RIPRAP SO THAT IT IS FREE FROM ANY IRREGULAR SURFACE PROTRUSIONS OVER 3 INCHES IN HEIGHT.



DRAWN BY: DESIGNED BY: CHECKED BY: SCALE:		GPW	СРW	Мط9	N/A
	SURVET BT:	DRAWN BY:	DESIGNED BY :	снескер ву:	SCALE :



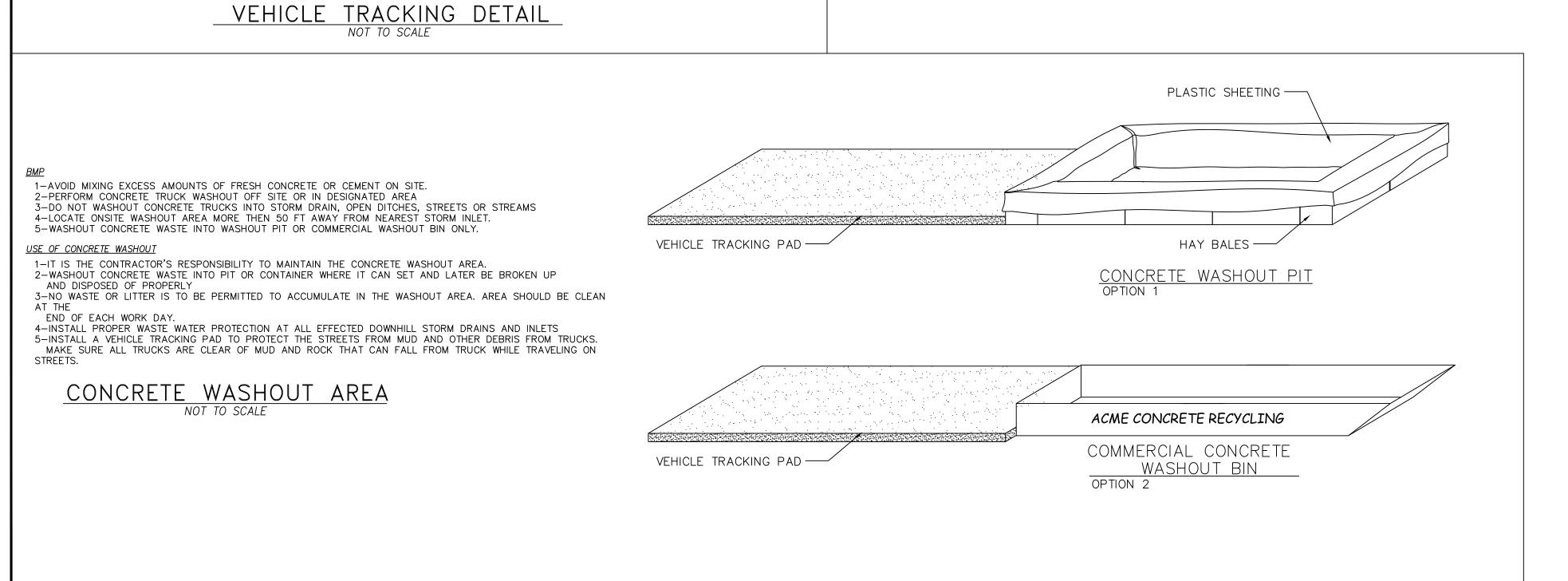
AKEVIEW ESTATES

EROSION CONTROL

HIDEOUT



SHEET NO. ER-1



-140X MIRAFI FABRIC

OR APPROVED EQUAL

WOOD STAKE (MIN. 36")

— STAKE SHOULD BE BURIED A MINIMUM OF 16" BELOW

1—CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2% 2—COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN

3-PLACE COURSE AGGREGATE, 1 TO $2-\frac{1}{2}$ INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

FRONT VIEW

SILT FENCE DETAIL

NOT TO SCALE

4"-6" ROCK

1/2"-3/4" FILTER LAYER

USE FOR MORE THEN 3 MONTHS)

EXISTING GRADE

JNDISTURBED GROUND

-WOOD STAKE (MIN. 36") SHOULD BE PLACED ON

140X MIRAFI FABRIC OR APPROVED EQUAL

REACHES A DEPTH OF

/2 SILT FENCE HEIGHT

GRADE

REMOVE SEDIMENT BEFORE I

EMBEDDED FILTER CLOTH A -MINIMUM OF 8" BELOW

DOWNHILL SIDE OF FABRIC

GUTTER PROTECTION SETUP

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and

into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

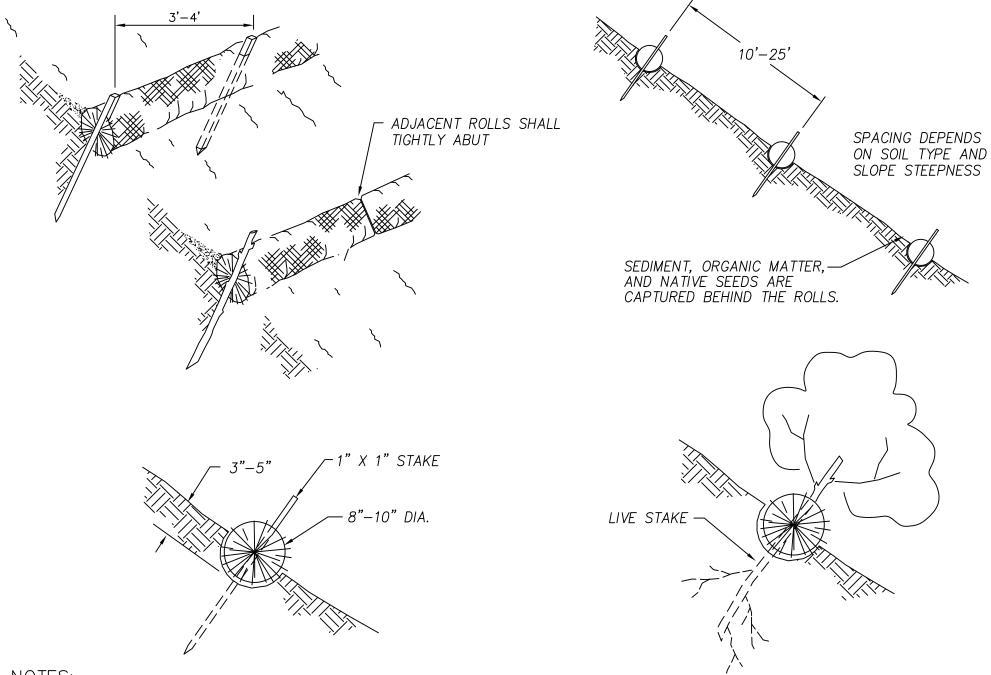
Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay—type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattles shall be installed at the intervals designated by the Engineer.

slope contour.

-1" X 1" STAKE LIVE STAKE Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the



_EXISTING OR SIDEWALK— PROPOSED INLET INSTALL 8" TO 10" DIA WATTLE-FLQW LIP OF GUTTER-SECURE WITH SAND BAGS ON WATTLES SPACED 4' APART INLET PROTECTION BARRIERS

GUTTER PROTECTION SETUP

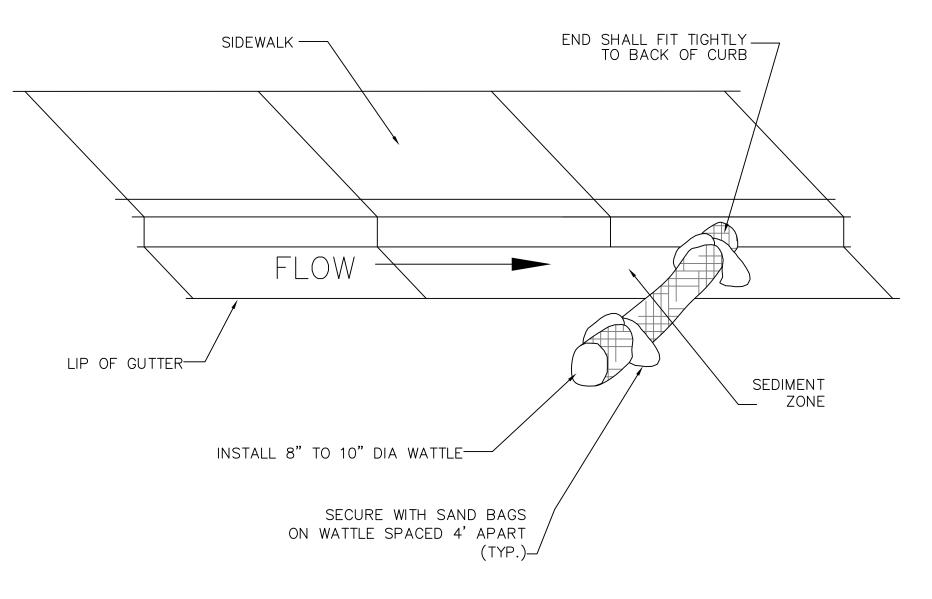
ENDS SHALL FIT TIGHTLY

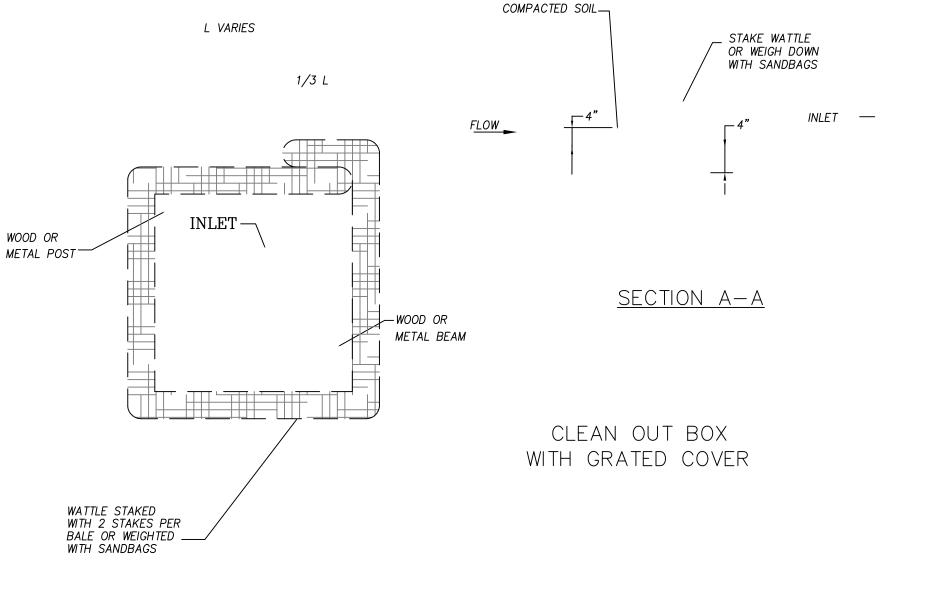
TO BACK OF CURB ----

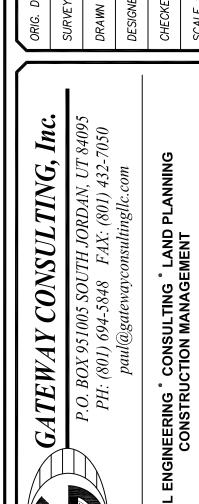
INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

IF THE AREA BEHIND THE INLET IS NOT STABILIZED, A BMP

SHOULD BE USED TO PREVENT SEDIMENT FROM ENTERING THE





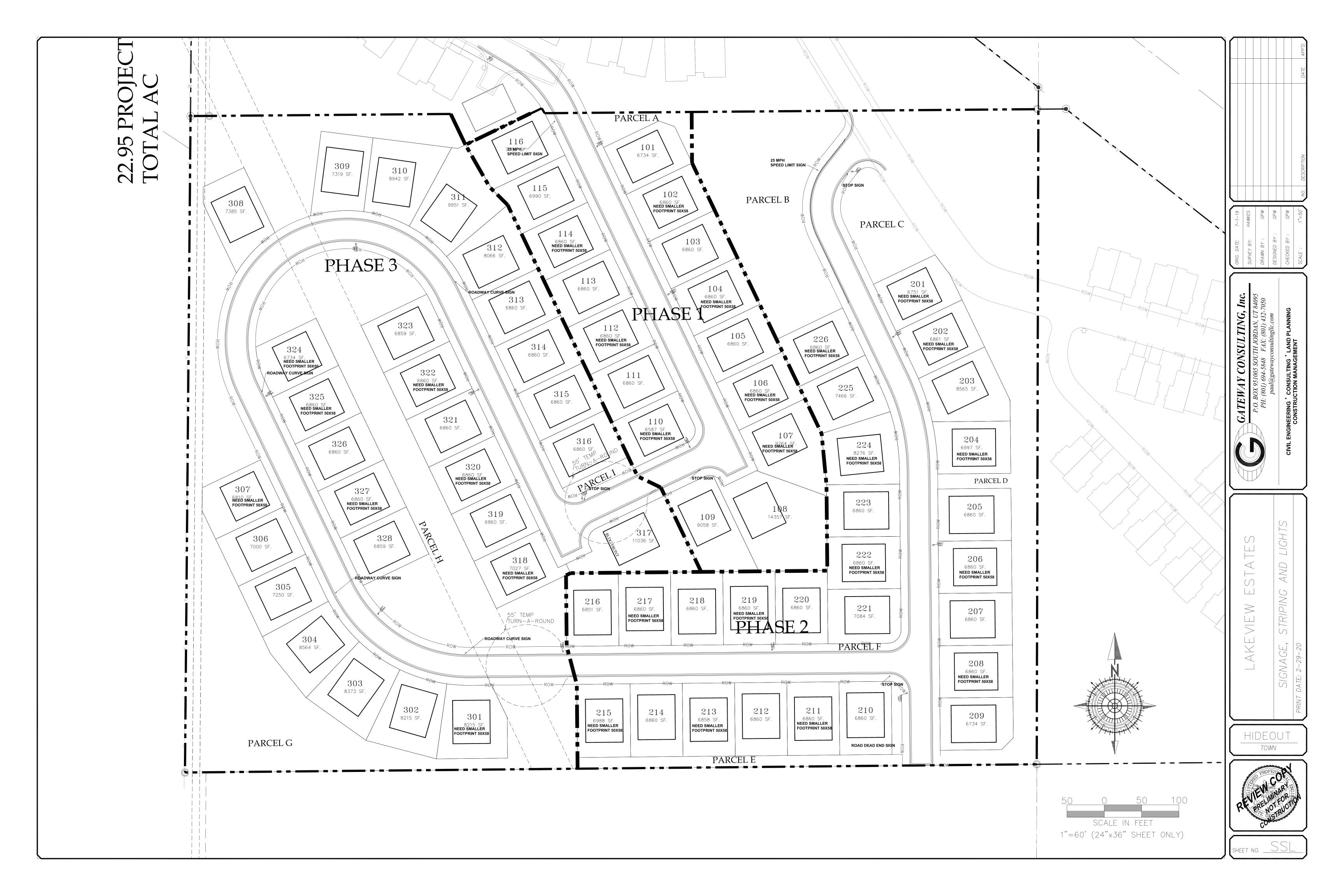


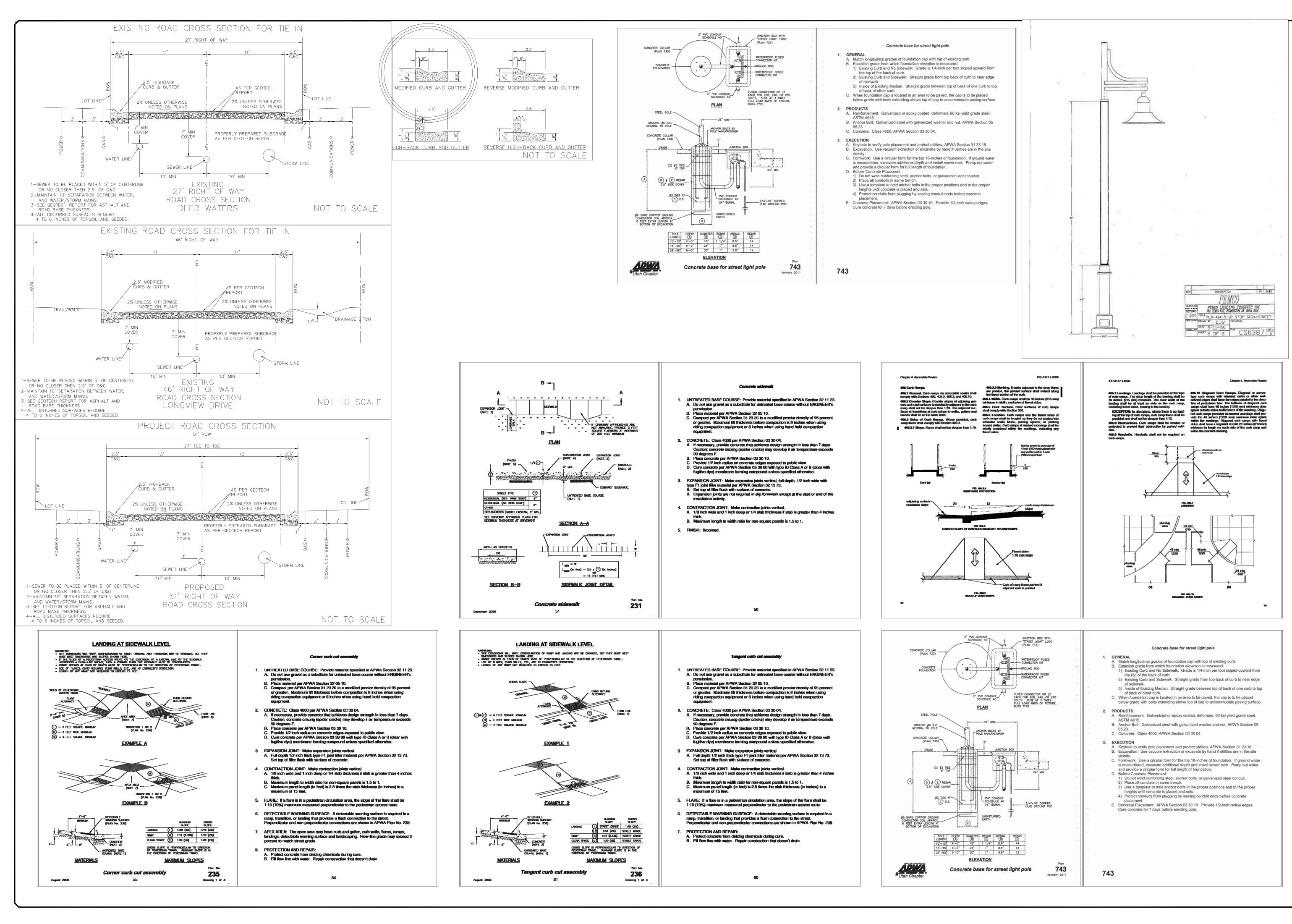
HIDEOU'

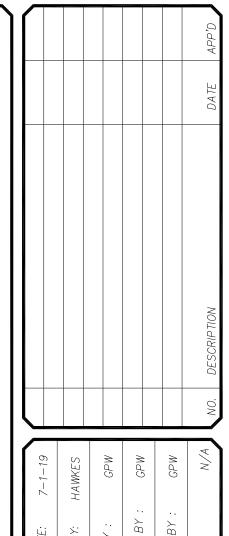
SHEET NO. LK

$\begin{bmatrix} G & Inc \end{bmatrix}$	ORIG. DATE:	7-1-19	
177 8 4005	SURVEY BY:	HAWKES	
, 01 04093 432-7050	DRAWN BY:	GPW	
гот	DESIGNED BY :	0PW	
NING	CHECKED BY:	M dS	
	SCALE:	N/A	

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7-1-19	HAWKES	GPW	M dS	GPW	N/A	
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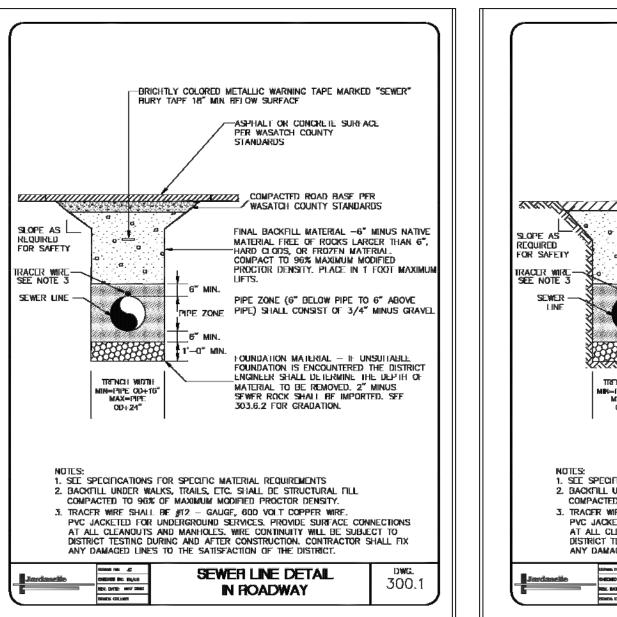


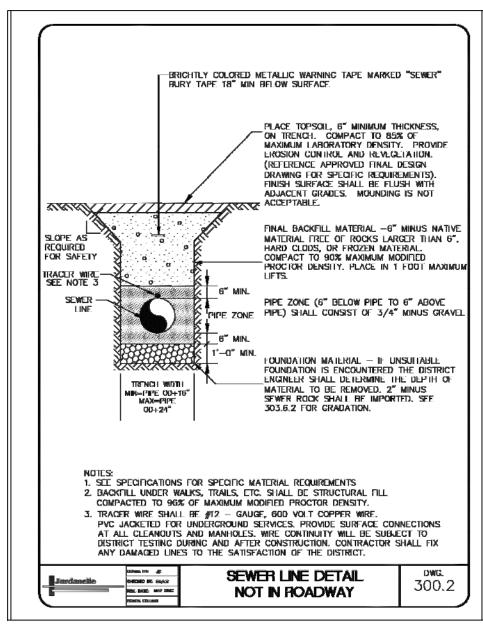


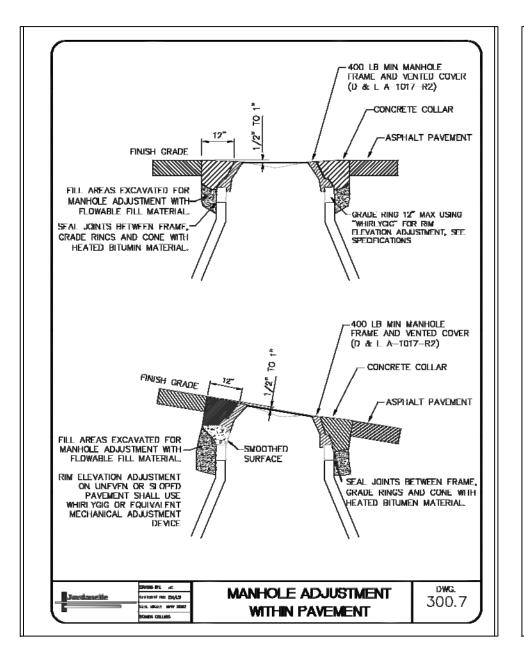


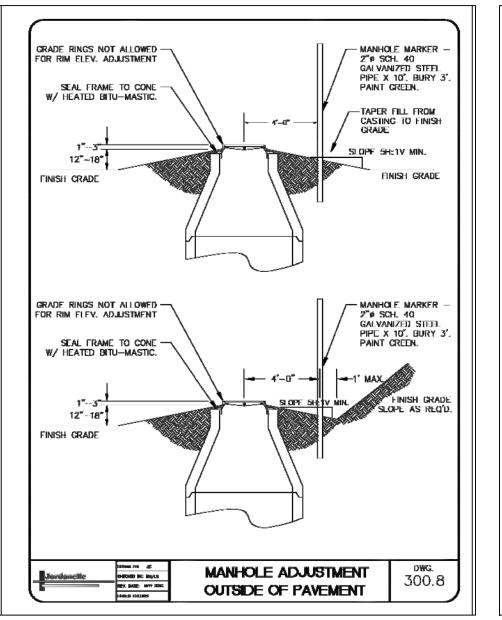
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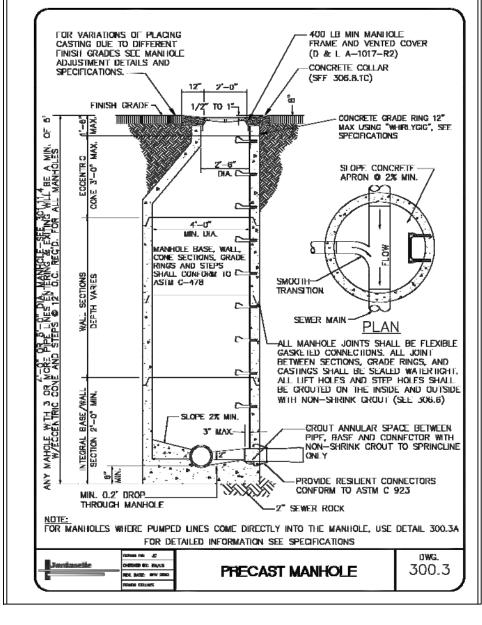


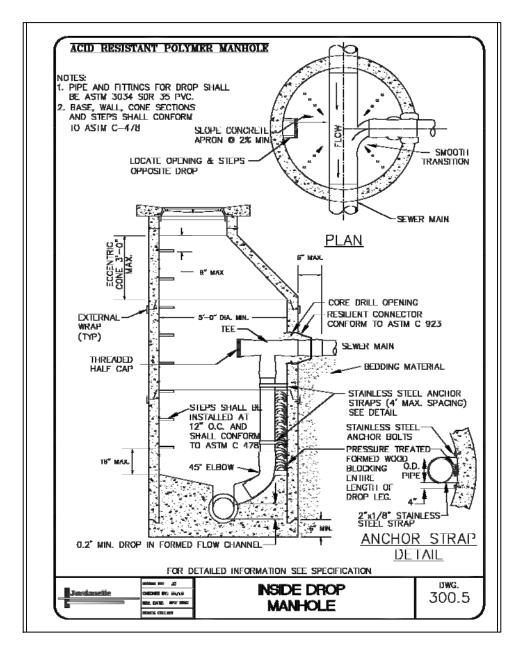


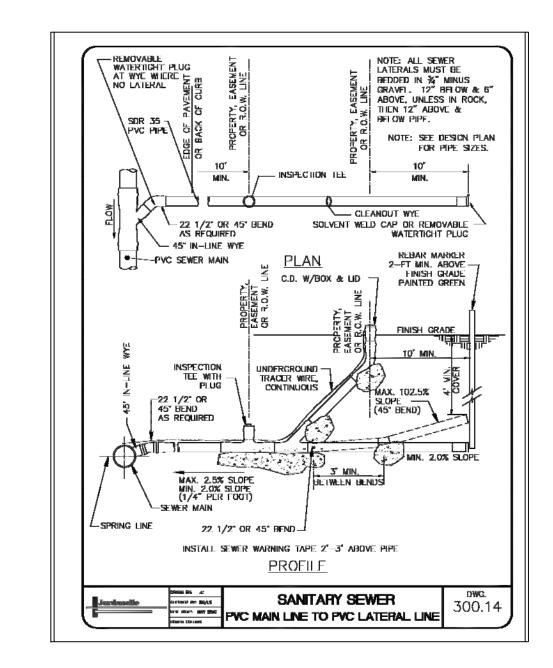


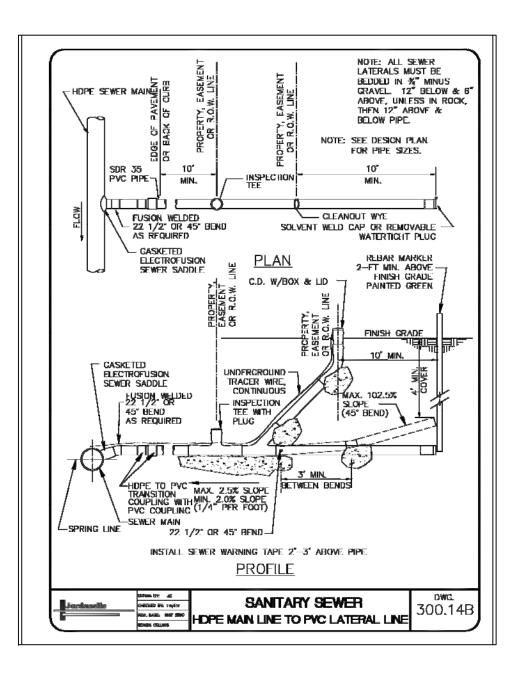


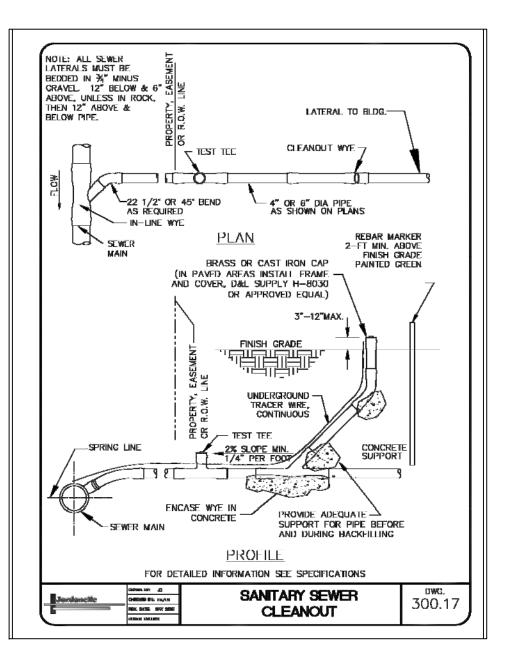


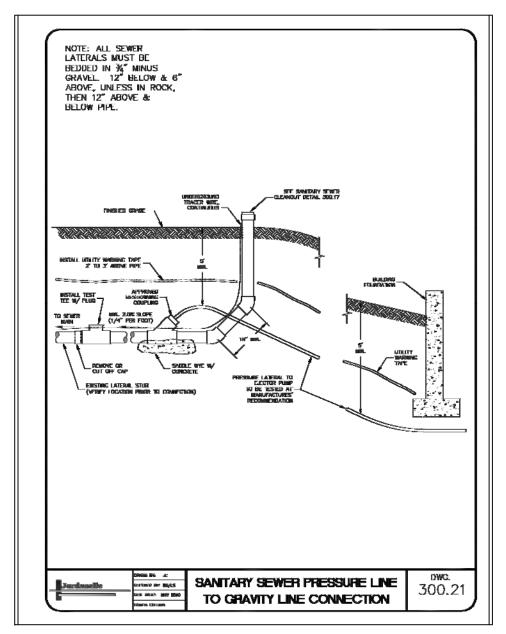


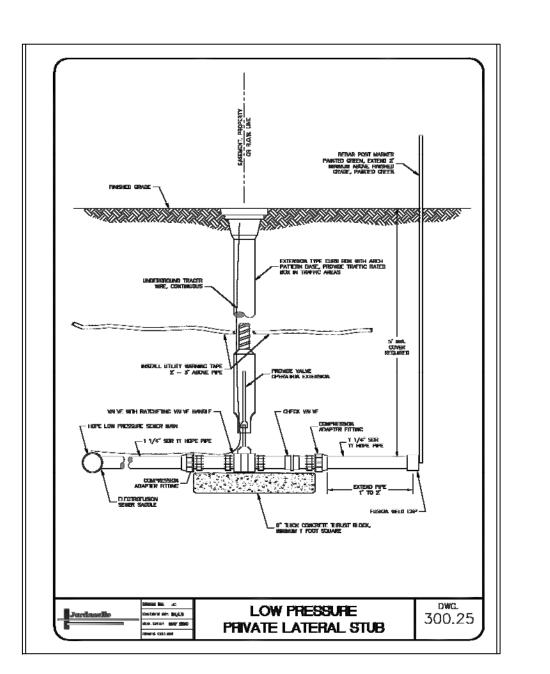


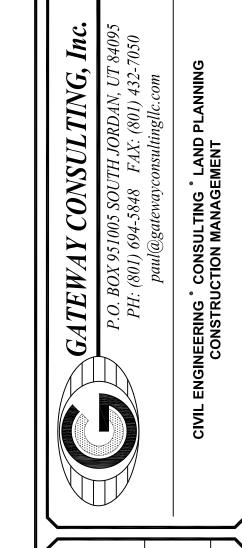




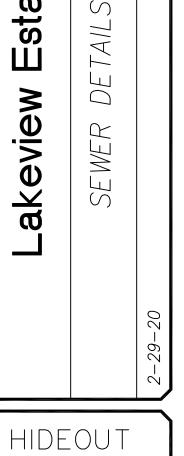




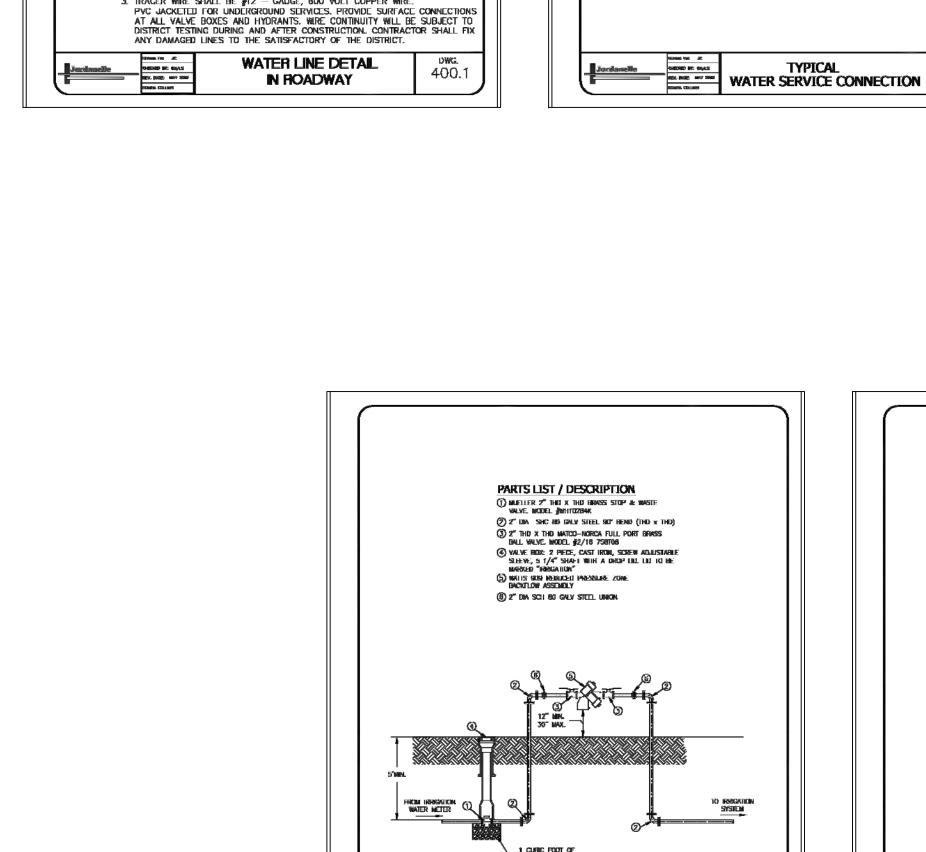








SHEET NO. _____



MSILE:
BACKFLOW ASSEMBLY SHALL BE TESTED WITHIN 10 DAYS AFTER
INSTALLATION AND ANNUALLY EVERY YEAR AFTER, RESULTS SHALL
BE SUBMITTED TO THE DISTRICT FOR APPROVAL.

ORBITO DE 19/11
WES BOOK DELLEY PRESSURE BACKFLOW PREVENTER INSTALLATION

DWG. 400.14

BRIGHTLY COLORED METALLIC WARNING TAPE MARKED "POTABLE WATER" BURY TAPE 18" MIN BELOW SURFACE

_COMPACTED ROAD BASE PER WASATCH COUNTY STANDARDS

-7-0" MIN. COVER OVER PIPE IN ALL PAVED AREAS (10" MAX, BURY)

FINAL BACKFILL MATERIAL -6" MINUS NATIVE

MATERIAL FREE OF ROCKS LARGER THAN 6". -HARD CLODS, OR FROZEN MATERIAL, COMPACT TO 95% MAXIMUM MODIFIED PROCTOR

PIPE ZONE (6" BELOW PIPE TO 6" ABOVE PIPE) SHALL CONSIST OF COMPACTED WASHED SAND

N.
FOUNDATION MATERIAL — IF UNSUITABLE
FOUNDATION IS ENCOUNTERED THE DISTRICT
ENCINEER SHALL DETERMINE THE DEPTH
OF MATERIAL TO BE REMOVED.
2° MINUS SEWER ROCK SHALL BE IMPORTED.
SEE 303.8.2 FOR GRADATION.

DENSITY, PLACE IN 1 FOOT MAXIMUM LIFTS.

-ASPHALT OR CONCRETE SURFACE PER WASATCH COUNTY STANDARDS

SLOPE AS REQUIRED FOR

TRACER WIRE-SEE NOTE 3

WATER LINE-

MIN=PIPE OU+16" MAX=IME OD+24"

WHERE FOUNDATION MATERIAL IS REQUIRED, SEPARATE PIPE ZONE AND SEWER ROCK WITH GEOTEXTILE FABRIC

NOTES: 1. SEE SPECIFICATIONS FOR SPECIFIC MATERIAL REQUIREMENTS 2. BACKFILL UNDER WALKS, TRAILS, ETC. SHALL BE STRUCTURAL FILL

COMPACTED TO 96% OF MAXIMUM MODIFIED PROCTOR DENSITY.

3. TRACER WIRE SHALL BE #12 - GAUGE, 600 VOLT COPPER WIRE.

NOTES:

1. METER BOX SHALL BE SET PLUMB.

5. NO SWEAT FITTINGS ARE ALLOWED.

Double Strap Bronze— Service Clamp

WATER MAIN-

2. THREADS ON SERVICE CLAMP SHALL MATCH THREADS ON CORPORATION STOP.

6. COMPRESSION TYPE CONNECTIONS SHALL BE USED FOR ALL CONNECTIONS.

4. METERS ARE TO BE INSTALLED IN AN APPROVED LANDSCAPE AREA; NOT IN SIDEWALK, ASPHALT OR DRIVEWAY, UNLESS APPROVED BY THE DISTRICT ENGINEER.

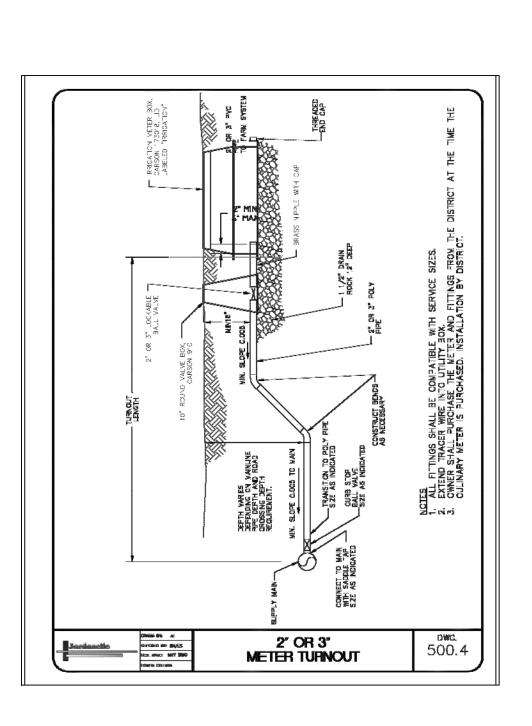
CONTINUOUS TRACER WEE,

__12" OVER AND 12" UNDER AND 6" MIN. ON EITHER SIDE OF THE PIPING, COMPACTED TO 96% USING ASTM D-1557

400.3

WASHED SAND:

3. REFER TO WRITTEN SECIFICATIONS FOR ADDITIONAL DETAILS.



I 1/2" OR 2" METER BY DISTRICT—

1 1/2" OR 2" CURB VALVE

MADIE:
FOR LICATIONS WHERE CULINARY
WATER WILL BE USED FOR SECONDARY
WATER, PRINTIF A REDUCED PRESSURE
BACKFLOW PREMENTER DOWNSTREAM OF
THE METER, SEE DETAIL 400.14

UNICERSOLIND TRACER WIFE, CONTINUOUS

FORD WHI78-(16 OR 21) B-11-66 CR VEH/77-(16 OR 21) B-11-77 %

3/4" TO 1 Y/2" GRANULAN FILL
12" DEPTH MONAM
(COMPACTED TO SEE MAX. DENSITY)

р**у**с. 400.5

(COMPRESSION X FIP)

PLAN VIEW

1017

METER VAULT DETAIL

1-1'2" OR 2" METER

OF FLOW

36" FROST FREE LID
ASSEMBLY:

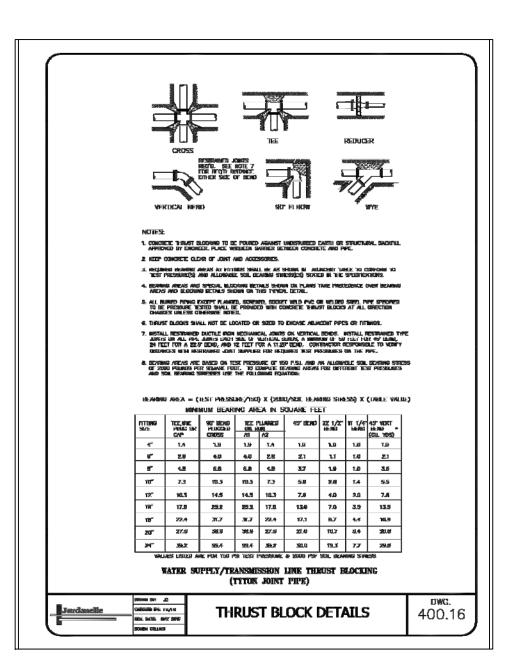
D & L SUPPLY L-2320 _ FOR METERS LOCATED IN TRAFFIC AREAS USE D & L SUPPLY A-1017-R1

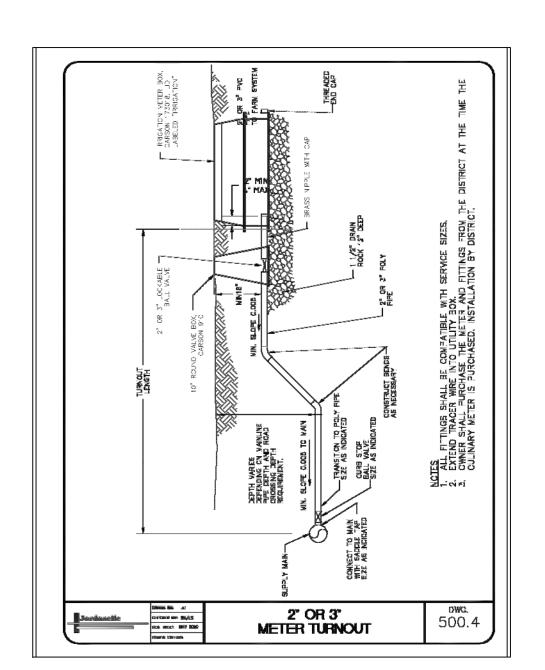
INNER FROST LID 🔍

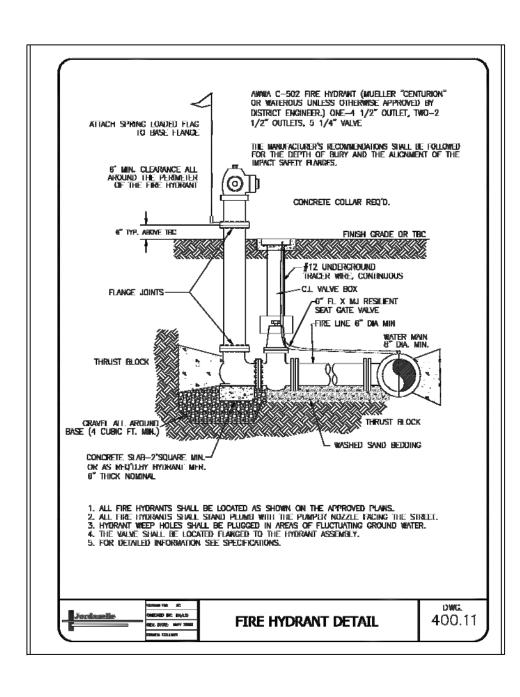
FINISHED GRADE

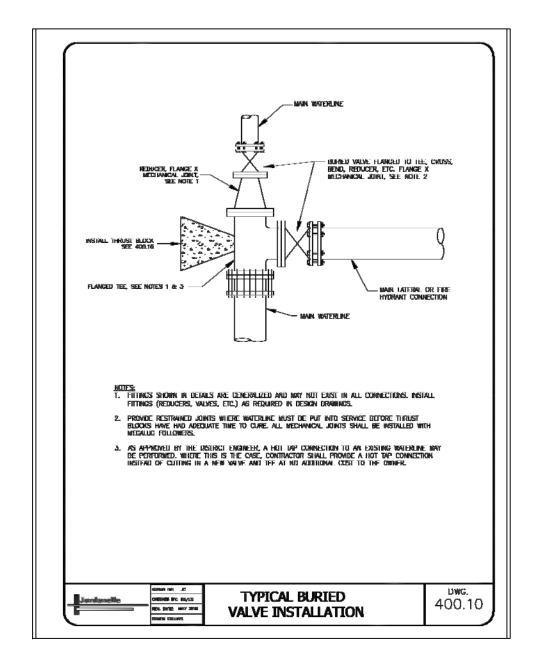
3' HICH ECCENTRIC _ CONE

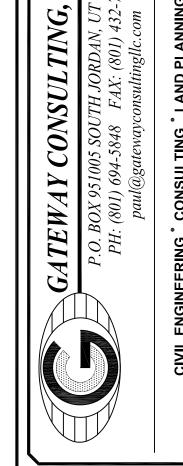
NO LOAD ALLOWED 1/2" TO 1" CLEARANCE -TYPICAL

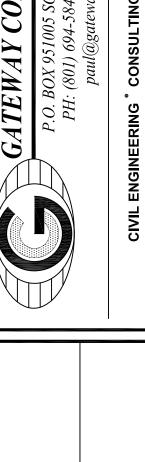










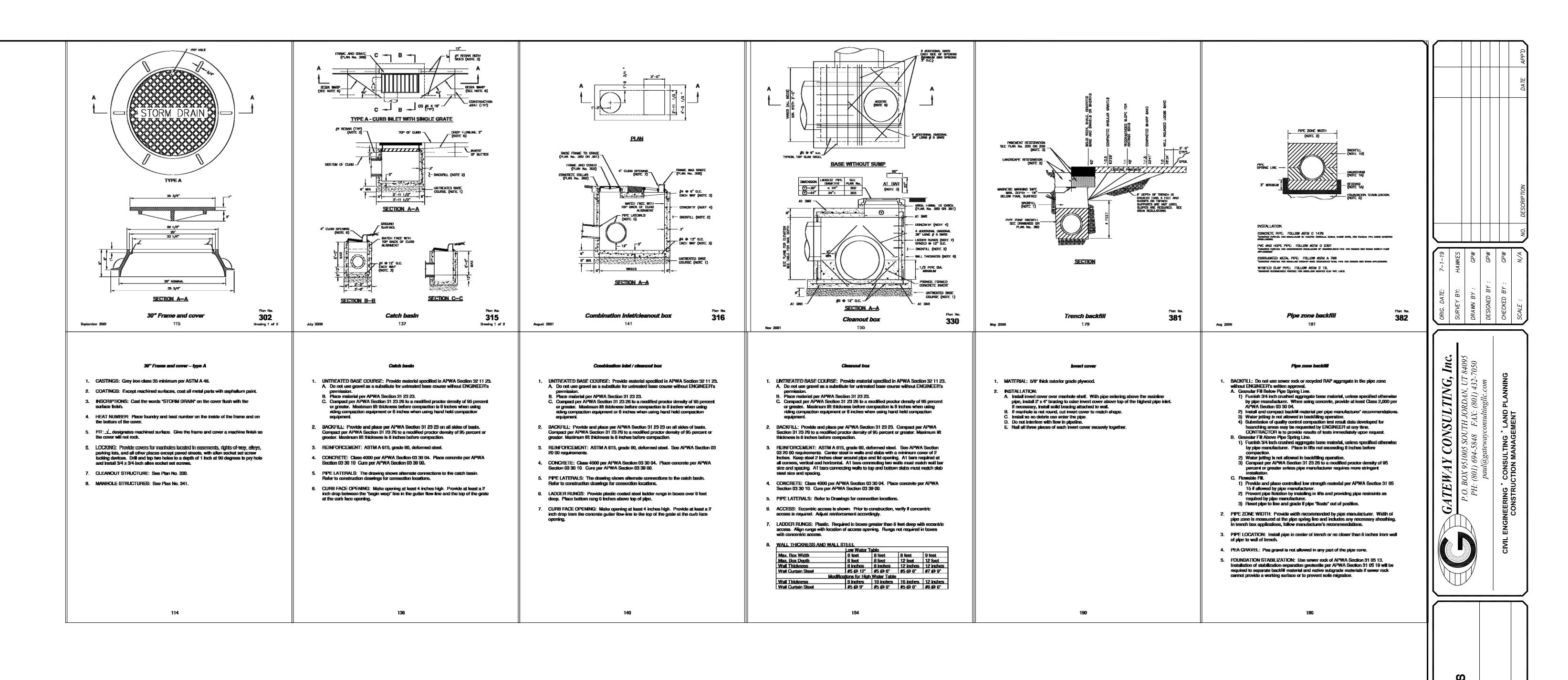


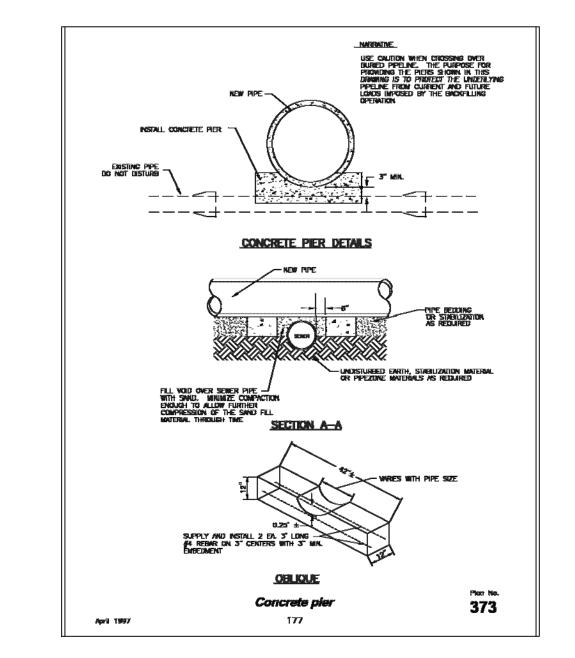
Estate WA

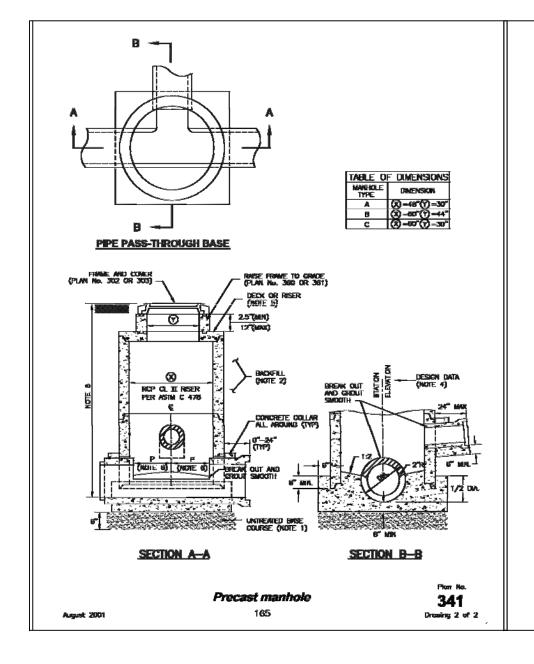
TOWN



SHEET NO. _______







Precast m

UNTREATED BASE COURSE: Provide material specified in APWA Section 32 11 23.
 A. Do not use gravel as a substitute for untreated base course without ENGINEER's permission.
 B. Place material per APWA Section 31 23 23.
 C. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction

equipment.

BACKFILL: Provide and place per APWA Section 31 23 23. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift

thickness is 8 inches before compaction.

3. CONCRETE: Class 4000 per APWA Section 03:30 04. Place concrete per APWA

Section 03 30 10. Cure per APWA Section 03 39 00.

STATIONING AND ELEVATIONS:
 A. Stations of manholes shown on the Drawings apply to the centerline of the shaft.
 B. Elevations shown at the shaft's center refer to the prolonged (or extended) Inverting the prolonged of the pipe.
 C. Inlet pipe elevation applies to a point of intersection of the inlet pipe invert to the manhole wall.

CONCRETE DECK OR REDUCING RISER: When depth of manhole from pipe

invert to finish grade exceeds 6-7, use a reducing riser section.

3. DISTANCE "P": "P" varies as per size of pipes, such that the horizontal inside diameter of the pipe intersects the inside face of the riser.

7. JOINTS: Place flexible gasket-type sealant in all manhole joints.

BASE OF MANHOLE: Pour in one continuous operation.

9 FINISH: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.

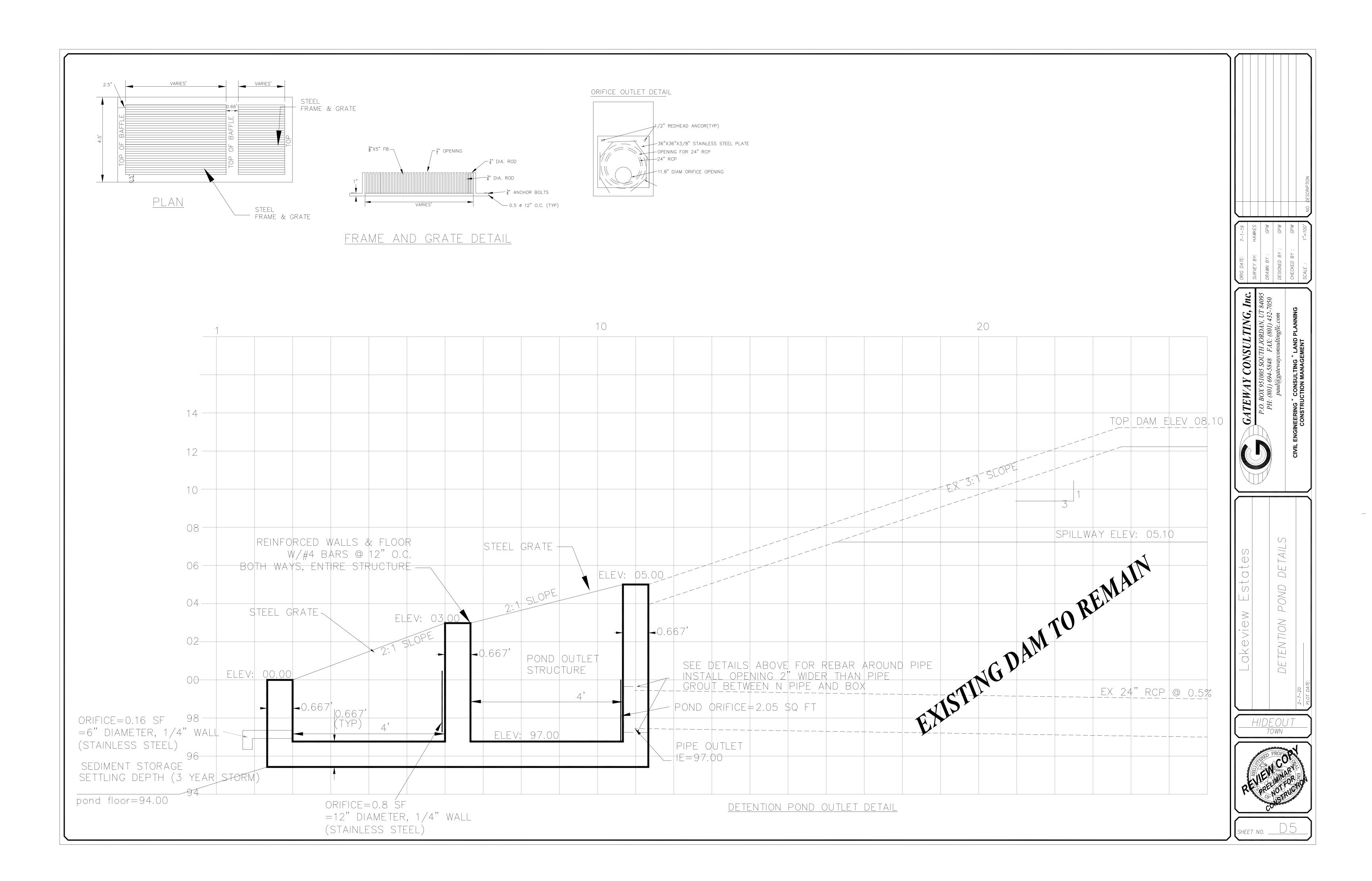
iew Estate

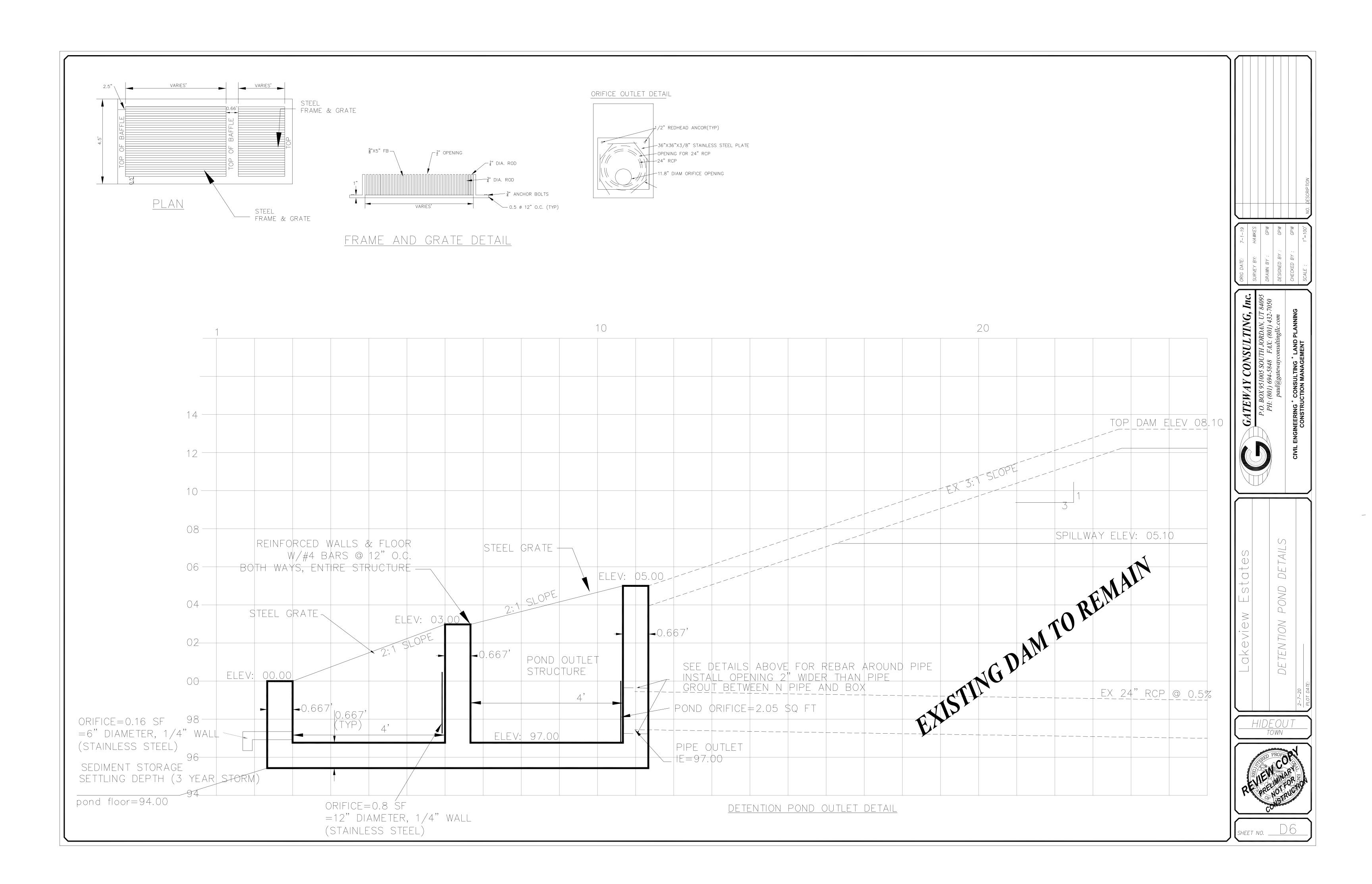
- | - |

HIDEOUT



EET NO D4







Staff Report

To: Hideout Town Council and Mayor Phil Rubin

From: Thomas Eddington Jr., AICP, ASLA

Town Planner

Re: Preliminary Plat for Lake View Estates

Date: March 16, 2020

Submittals: The Application is dated 4 December 2019 and a subdivision plan

> set dated 29 February 2020. A revised subdivision design dated 10 May 2020 was submitted for review. The Planning Commission reviewed the Preliminary Subdivision and forwarded a positive

recommendation on 19 March 2020.

Overview of Current Site Conditions

Land Area: 22.40 acres

Residential Medium Density (RMD) Zoning:

MIDA: This property is located within the MIDA boundary – Project Area 4

Proposed Uses: Single-family dwellings, townhomes and duplexes, rights-of-way,

utility infrastructure, trails and park space – all permitted per the

Zoning Ordinance

Proposed Lots 69 Lots (from 70 originally proposed)

+/- 3 units per acre proposed Density/Lot Size:

Required Setbacks: Front: 20'

Rear: 20'

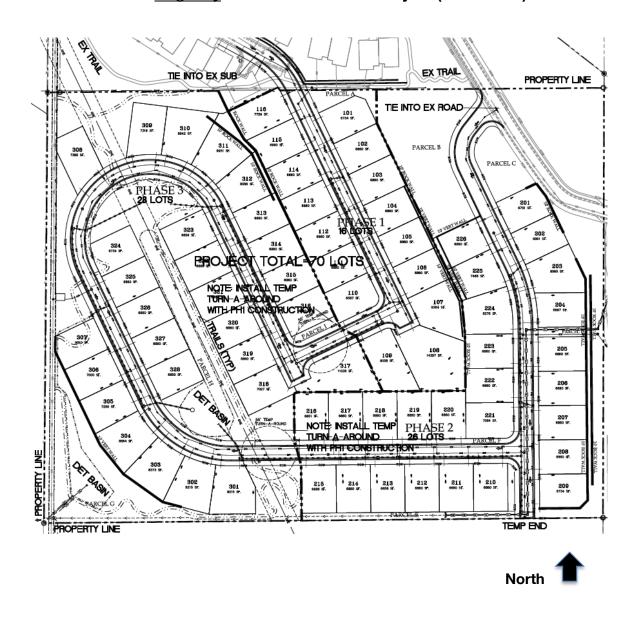
Side (distance between buildings): varies

Max Height: 42' maximum (3 ½ stories)

Open Space Requirement: 20% of area



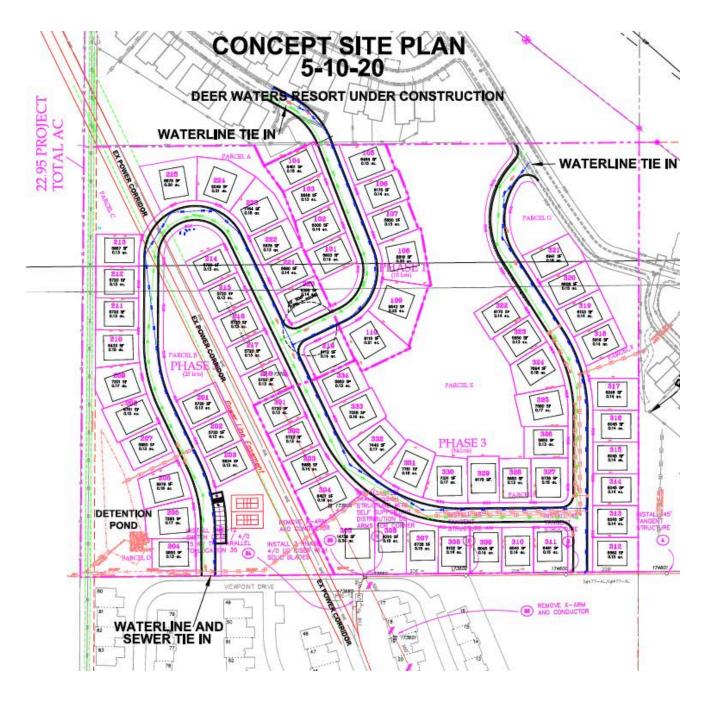
Originally Submitted Subdivision Layout (March 2020)



At a public hearing on April 9, 2020, the Town Council required: reduced density, elimination of traffic hammerheads, vehicular connection to rights-of-way to the neighborhood to the south, increased open space continuity, a reduced number of retaining walls (with reduced heights), improved trail connectivity, and detention basin details among other requirements.



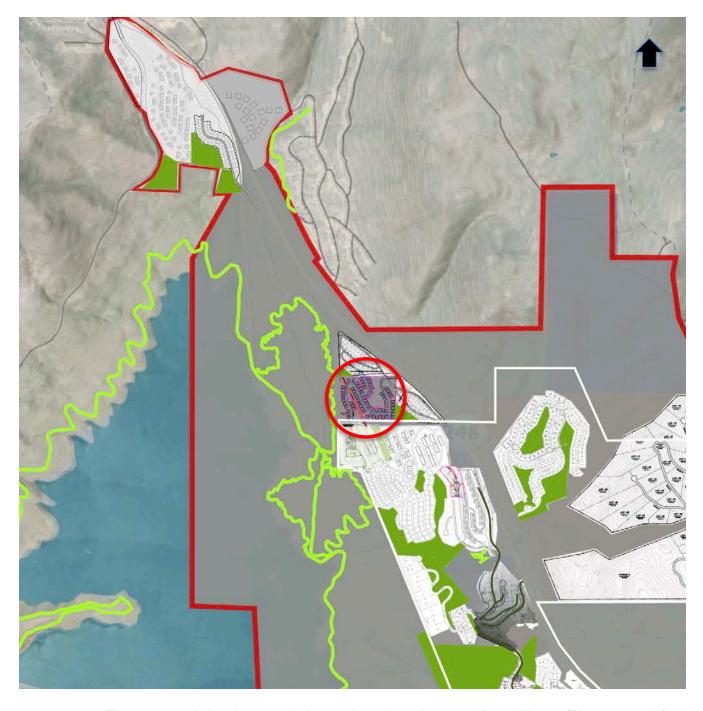
Revised Submitted Subdivision Layout (10 May 2020)







Town Context - Proposed Development



The proposed development is located south and west of Deer Waters (Phase 1 and 2) and north of Shoreline (Phase 2 & 3).



Proposed Updates or Conditions of Approval for Preliminary Subdivision Review by Town Council:

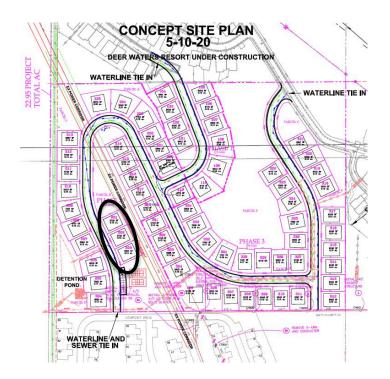
The Town Council held a public hearing on April 9, 2020 and required the Applicant to address the following concerns:

Reduced density

The Applicant submitted a redesigned subdivision that increased open space areas and created a road network that better integrated within the challenging topography of the site.

The new design requires some input from the Town Council:

- The new design has almost exclusively uphill and downhill lots, no side slope lots (which are more challenging to build and more impactful to the landscape).
- Only one (1) lot was eliminated from the earlier submittal. There are three lots (circled in black) that could be eliminated to avoid the 'stacking' of four rows of highly dense housing up the slope that will result if they remain. In addition, these lots are located in the middle of the only accessible/usable open space area, dividing it into two smaller sections.





- The original plan included an average lot size = 70' x 98'
 - The new proposal has 65' x 98' lots
 - This equates to a building envelope of 45' wide x 58' deep
 - The Applicant is requesting a building envelope that is 50' wide x 63' deep
- The original Planning Commission approved plan set required a varied front setback of 30' (with some 25' setbacks)
 - The new proposal has 20' setbacks from back of curb and gutter (the minimum front yard setback for the RMD zone is 20' as measured from the back of curb and gutter).
 - The Town Council could consider a reduced rear yard setback to allow for a staggered building setback throughout the neighborhood. This would reduce the 20' rear yard setback to possibly 15' (or 18') to create the desired variation in the streetscape building wall.
- The original plan had 10' side yard setbacks
 - The new proposal has 7.5' side yard setbacks

Increased vehicular connection to adjacent rights-of-way to the neighborhood to the south elimination of traffic hammerheads

There are now four (4) connection points to ingress/egress the newly proposed neighborhood – including a much-needed connection to the neighborhood to the south. Additionally, the hammerheads have been removed from the plan. The Applicant must illustrate snow storage areas on site; these areas must be located outside of proposed Lot boundaries.

Increased open space and contiguity and improved trail connectivity

It appears the amount of contiguous open space has been increased but the Applicant must calculate this (in acres and as a percent of the total proposed subdivision area). The active open space area has been pushed downslope from Deer Waters Phase 2 to the area along the Public Utility Easement (PUE) that bisects the Lakeview Estates neighborhood. Confirmation is necessary regarding:

- What is proposed where the active open space (pickle ball courts) were originally located?
- How do residents in that area easily access this space? A stairwell should be considered in the location originally anticipated subdivision plan – between Lots 313 and 314 (as well as the newly proposed stairs between Lots 317 and 318).
- o What is the proposed timing for the open space amenities?
- What is the extent of the dog wash? Is a building or canopy proposed?



 Trail typology (materials) must be included on the final set of plans. The trail under the powerlines, within the PUE, should be paved.

Reduced number of retaining walls (with reduced heights)

The Applicant confirmed the newly proposed subdivision plan reduced the number and size of the retaining walls. Based on the concept plan, the wall at the property line (service road) is about 10' high, the next one upslope is about 8' high, and the top two walls range from 6' to 10 high. The Applicant should provide sections of all proposed retaining walls. Additionally, proposed wall type, materials, should be provided.

Detention basin – updated design and details to ensure a seamless relationship to the natural characteristics of the area

The proposed retention basin is in the same location as originally envisioned however it appears to occupy less area. The Applicant must address the following issues:

- No embankment shall be greater than a 3:1 slope and no rock or concrete material may be used in the storm water basin.
- The natural storm water basin shall be planted with native vegetation.



Road Connections & Retaining Walls (11.06.105):

The proposed subdivision has only two (2) road connections to existing or previously approved rights-of-way in Hideout. Additional road connections are needed to link this proposed neighborhood to the one to the south – Shoreline (Phase 2).

The two interior dead-end roads proposed should be reconfigured as through-streets to enable additional connectivity within the neighborhood. There are safety concerns regarding traffic movements, driveway accesses at these locations, snow storage, etc.

Each of the retaining walls, as proposed, are 10' high and in some cases (e.g. between proposed

lots 106 and 226) are stacked three (3) in a row equating to a 30' elevation change (or wall height). There are safety and aesthetic concerns with walls constructed heights greater than 10'-0". Section or elevation drawings should be provided (with proposed materials) for review by the Planning Commission.

Open Space and Trails (11.06.107):

The amount of open space must be a minimum of 20% of the total site (or 4.48 acres) and should be contiguous where possible. The proposed plan pushes the open space to the rear of all private lots rendering it challenging for the public to use. The proposed subdivision plan should be reconfigured to allow for more usable open spaces. Trails and/or other recreational amenities should be detailed and incorporated into the plan set.

The proposed 'manmade slopes' should be illustrated with proposed materials. Are these proposed to be shotcrete or riprap or gabion in design? If so, this should be redesigned (reduced slope) to ensure the use of native vegetation.

The design of the proposed storm water detention basins (including landscape plant materials) should be provided. Is the proposed concrete dam structure a feature proposed in each of the three basins? These three storm water basins should be removed from the 20% open space calculations given their use as infrastructure, not open space, to address drainage for the proposed neighborhood.

Sensitive Lands (11.06.117(O)):

All sensitive lands should be identified on the proposed subdivision plan – steep slopes, wetland areas, natural drainage ravines, poor soils, etc.



From: Sheri Jacobs <sherijacobs@me.com> **Date:** Wednesday, May 27, 2020 at 12:10 PM **To:** Kurt Shadle <kshadle@hideoututah.gov> **Subject:** Hideout development concerns

Hi Kurt,

We are sorry we won't be able to participate in the Hideout Town meeting on Thursday evening. We did however, wish to send you our thoughts on some concerns that we have about the development close to the Jordanelle down by the most recent phase of Shoreline Village.

We are all for development when done properly but we have also witnessed overdevelopment which is one of the reasons we moved here from Florida. We always thought Hideout was a special place dedicated to ensuring residents would build homes that fit well into the native environment - a town that would control density maintaining a delicate balance between development and nature. It seemed to be a very special place to live and we did understand that was why the DRC guidelines were so strict.

We knew when we purchased in Silver Sky that there would be a few single family homes to be built down below us but we were assured that the density would be kept to a minimum and height restrictions would never be in question. We purchased our home for the amazing views and the open spaces. Of course there would be more homes built but we always thought that the open spaces ration would be preserved here and it would not be one of those towns that would fall victim to overdevelopment.

Recently, we have come to hear many rumors about increased density development proposals down by the Jordanelle and this concerns us greatly for several reasons:

- 1) Height restrictions and view preservation we all had to live by these rules and new developers absolutely should too.
- 2) We are concerned about all these new developments where every building looks the same. Hideout is a unique town where the homes are all different but it still looks like they all belong. We would hate to see it fall victim to tract style housing. That kind of over-development would hurt everyone's views and property values.
- 3) One of the most important concerns with overdevelopment and too much density is the stress that it puts on the infrastructure. Can our sewer system really handle all that building? We have heard otherwise! What about the air quality, peace and quiet and increased traffic? Most importantly how do all those people escape if God forbid there is a fire? There is only one road in and out.
- 4) Lastly, and this is about the current development? What is up with the construction noise on the road below Silver Sky starting before 7 a.m.?

Thank you for letting us air our concerns. We are happy to be a part of any future discussions.

Sheri & Jack Jacobs 561-441-0802 sherijacobs@me.com

File Attachments for Item:

schedule		

5. Discussion and possible adoption of an ordinance to amend the Town Council regular meeting

ORDINANCE #20-05

AN ORDINANCE AMENDING TOWN CODE SECTION 1.10.050 (A) AND ESTABLISHING A REVISED 2020 REGULAR MEETING SCHEDULE FOR THE MEETINGS OF THE TOWN COUNCIL OF HIDEOUT UTAH

WHEREAS, pursuant to State law, each municipality shall, by ordinance, prescribe the time and location of its regular meetings; and

WHEREAS, the Town Council has determined to meet on the second and fourth Thursday of each month.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF HIDEOUT, UTAH, that Section 1.10.050 (A) of the Hideout Town Code is hereby amended to incorporate the following changes:

1.10.050 MEETINGS; PROCEDURE AND CONDUCT

A. Regular Meetings: The governing body shall conduct regular meetings, which shall be held on the second and fourth Thursday of each month at the Town Hall, which meetings shall begin promptly at six (6:00) P.M., provided that:

- 1. If the meeting date is a legal holiday, then the meeting shall be held at the same time and place above described on the next following day which is not a legal holiday.
- 2. The governing body may, by resolution provide for a different time and place for holding regular meetings of the governing body.
- 3. If any citizen or member of the governing body desires to have an item placed on the agenda for the regular meeting of the governing body, a description of the agenda item must be delivered to the Town Clerk no later than 5:00 p.m. on the Monday ten (10) days or more prior to the regularly scheduled meeting, and applicants must provide supporting content no later than 12:00 p.m. on the Thursday prior to the scheduled council meeting. If agenda items or materials supporting such agenda items are delivered after time set forth in this section, such agenda items will be placed on the agenda for the following regular meeting, unless a special meeting is held in the interim.

<u>SECTION I:</u> Repealer. If any provisions of the Town's Code heretofore adopted are inconsistent herewith, they are hereby repealed.

<u>SECTION II:</u> Severability. If any section, subsection, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional by a court of competent jurisdiction, said portion shall be severed and such declaration shall not affect the validity of the remainder of this ordinance.

<u>SECTION III:</u> Effective Date. This Ordinance shall become effective immediately upon adoption by the Hideout Town Council and execution by the Town Mayor.

PASSED AND ADOPTED by the Town Council of Hideout, Utah, this 28th day of May 2020.

THE TOWN OF HIDEOUT
Philip Rubin, Mayor
Allison Lutes, Town Clerk

File Attachments for Item:

6. Discussion regarding Town recycling efforts



Recycling Discussion

Town of Hideout

May 28, 2020



Citizen Leadership

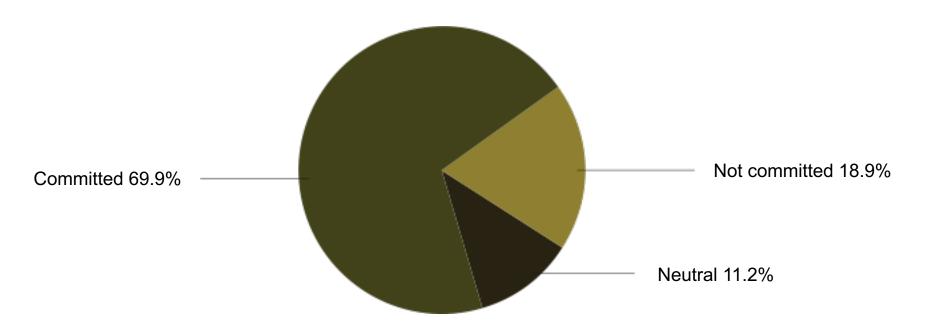
- Dori Schmalzle
- Jeff Schiff



General Plan Survey Results

Currently, how committed would you say you are to recycling?

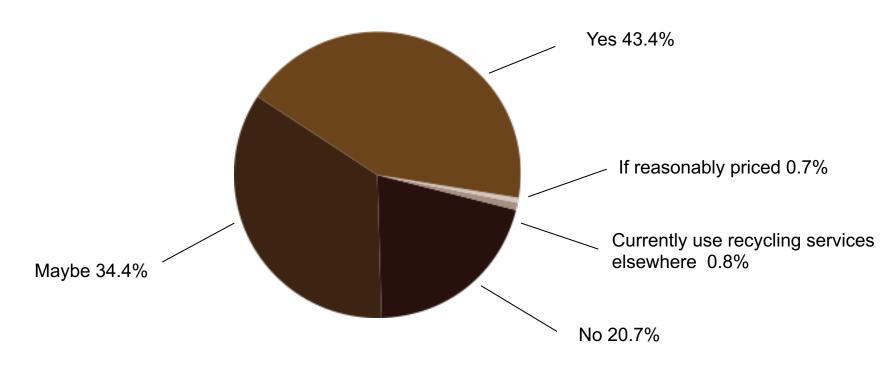
Committed – 100, Neutral – 16, Not Committed – 27



General Plan Survey Results

Would you be willing to pay for a curbside recycling service?

Yes – 43%, Maybe – 35.1%, No – 21%





Recycling Options

- Negotiate Mandatory Town-wide Curbside Pick-up with Private Contractor
- Encourage Citizens to Privately Use Curbside Pick-up
- Encourage or Facilitate Citizens to Better Utilize the Recycle Utah facility located in Park City or Other Facility
- Do Nothing



Status Quo – Do Nothing

 Goes Against the Recycling Mandate of the General Plan and the Overwhelming Sentiment of Town Residents





Recycle Utah Center in Park City

- The Park City Conservation Association d/b/a Recycle Utah is a Nonprofit, 501(c)(3) Organization Located at 951 Woodbine Way (off Kearns Blvd.)
- Recycle Utah accepts all major recyclables as well as many hard-to-recycle items.
- Critical Point: All items must be sorted before being dropped off at the center.

Curbside Pick-up

Recycle Services of Utah (RSU)

- Pick-up Would Be Twice Monthly on Thursday (Same as Garbage)
- Recycling Would Be Commingled in the Container Supplied by RSU
- Acceptable Recycling Items Include:
 - Aluminum Cans, Trays & Foil
 - Steel Cans and Tin
 - Most Plastics including #1, #2, #3, #4, #5, #6 #7
 - Paper, newspaper, brown bags
 - Magazines, catalogs, books
- Unacceptable Items Include:
 - Glass
 - Styrofoam
 - Plastic bags



- Pricing: \$25 per Month with a \$25 Initial Set-up Fee for the Container
- Residents in Deer Mountain and Tuhaye currently use RSU
- Container Size 96 Gallons Same as Wasatch Garbage Can



Curbside Pick-up

Recyclops

- Pick-up Would Be Twice Monthly on Thursday (Same as Garbage)
- Recycling Would Be Commingled in Clear Bags, Except Glass Which Would Be Separate
- Acceptable Recycling Items Include:
 - Aluminum Cans, Trays & Foil
 - Steel Cans and Tin
 - Most Plastics including #1, #2, #3, #4, #5, #6 #7
 - Paper, newspaper, brown bags
 - Magazines, catalogs, books
 - Glass
- Unacceptable Items Include:
 - Styrofoam



Recyclops Curbside Pick-up

- Pricing: \$25 per Month or \$17 per Month Excluding Glass. \$24
 Initial Set-up Fee. Container cost \$60. If mandatory town-wide, these costs would be lower.
- Residents in Deer Mountain and other areas of Wasatch County currently use Recyclops
- Plastic Bags or possibly Container. Size 48 Gallons Half the Size of Wasatch Garbage Can.



OR





Comparison of Providers

	Republic	Recyclops
Company Size	Large, Well Established	Smaller, More Recent Company
Location	Sorting Facility in Salt Lake	Sorting Facility in Heber
Recycling Center Description	Rocky Mountain Recycling, If Load Contains Too Much Non-recyclable Material It Will Be Sent to the Dump	Attempts to Reuse Inappropriately Recycled Items. Goal is Zero Waste.
Trucks	Large, Typical Garbage Truck Size	Smaller, Less Carbon Output. Local Contractors Used



Next Steps

- Decide Whether Recycling Shall Be Voluntary or Mandatory
- Decide Whether Town Will Select the More Established Company or the More Eco-Friendly Company
- If Eco-Friendly Will Town Allow Plastic Bags at Curb or Will Town Require Purchase of Containers
- Will Town Subsidize Purchase of Containers