



# HIDEOUT, UTAH TOWN COUNCIL REGULAR MEETING

May 28, 2020

## Amended Agenda

PUBLIC NOTICE IS HEREBY GIVEN that the Town Council of Hideout, Utah will hold a special meeting electronically for the purposes and at the times as described below on Thursday, May 28, 2020

All public meetings are available via ZOOM conference call and net meeting.  
Interested parties may join by dialing in as follows:

**Meeting URL:** <https://zoom.us/j/4356594739> To join by telephone dial: US: +1 408 638 0986  
**Meeting ID:** 435 659 4739

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Special Meeting ELECTRONIC ONLY – NO ACCOMMODATION FOR IN-PERSON ATTENDANCE  
6:00 PM

- I. Call to Order
- II. Roll Call
- III. Agenda Items
  - 1. Consideration and possible approval of an amendment to the Master Development Agreement for Deer Springs Community
  - 2. Public Hearing - discussion and possible approval of Deer Springs Phase 1 plat amendment
  - 3. Public Hearing - discussion and possible approval of Lakeview Estates preliminary application
  - 4. Continued Public Hearing: consider adopting Ordinance 2020-05 repealing and replacing Titles 3, 10, 11 and 12 of the Town Code
  - 5. Discussion and possible adoption of an ordinance to amend the Town Council regular meeting schedule
  - 6. Discussion regarding Town recycling efforts
  - 7. Discussion regarding Creekside Estates
  - 8. Discussion regarding status of the Town's COVID-19 safety practices
- IV. Public Input - Floor open for any attendee to speak on items not listed on the agenda
- V. Meeting Adjournment

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Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Mayor or Town Clerk at 435-659-4739 at least 24 hours prior to the meeting.

**HIDEOUT TOWN COUNCIL**  
10860 N. Hideout Trail  
Hideout, UT 84036  
Phone: 435-659-4739

**File Attachments for Item:**

Consideration and possible approval of an amendment to the Master Development Agreement for Deer Springs Community



**WHEN RECORDED, RETURN TO:**

**Town of Hideout  
Attn: Town Clerk  
10860 N. Hideout Trail  
Hideout, Utah 84036**

**FIRST AMENDMENT TO THE MASTER DEVELOPMENT AGREEMENT FOR DEER SPRINGS COMMUNITY**

THIS FIRST AMENDMENT TO THE MASTER DEVELOPMENT AGREEMENT FOR DEER SPRINGS COMMUNITY (“**First Amendment**”) is made and entered as of the date set forth below, by and between the Town of Hideout, a Utah municipal corporation (“**Town**”), and Western States Ventures, L.L.C., a Utah limited liability company (“**Developer**”).

**RECITALS**

A. Developer and the Town entered into that certain *Master Development Agreement for Deer Springs Community* (“**MDA**”) which was recorded on August 6, 2018 as Entry No. 454483 in the official books and records of the Wasatch County Recorder. The MDA governs and encumbers the real property shown on **Exhibit A** attached hereto (“**Property**”).

B. Developer has conveyed the Property to Holmes Western Deer Springs LLC (“**Owner**”), but Developer has not assigned the rights, duties, and obligations of Developer under the MDA.

C. The Town and Developer desire to amend the MDA by making certain modifications to the terms and conditions thereof. Owner acknowledges and accepts this Amendment as a modification to the terms of the MDA which are binding on the Property.

D. Pursuant to Section 25 of the MDA, the parties can amend the terms of the MDA by means of a written document signed by the Town and Developer.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Town and Developer hereby agree to the following:

#### AMENDMENT

1. **Recitals Incorporated.** The foregoing recitals are incorporated into, and made part of, this First Amendment.
2. **Definitions.** Capitalized terms used in this First Amendment but not otherwise defined shall have the meaning set forth in the MDA, if a meaning is provided.
3. **Amendment to Phasing Plan.** The Phasing Map, attached as Exhibit B-2 to the MDA, is hereby deleted in its entirety and replaced with Exhibit B-2.1, attached to this First Amendment. For all purposes under the MDA, references to the Phasing Map shall, hereafter, mean and refer to Exhibit B-2.1, attached hereto. For the avoidance of doubt, sixteen (16) of the single family home sites which were shown within Phase 1 on Exhibit B-2 (the original Phasing Map) will be moved to what is now Phase 7 as shown Exhibit B-2.1, attached hereto. Likewise, the twenty-eight (28) townhome sites which were shown within Phase 5 on Exhibit B-2 (the original Phasing Map) will be distributed among what are now referred to as Phase 1 and Phase 3 as shown on Exhibit B-2.1. The revised Phasing Map shown as Exhibit B-2.1 also contains other changes to the distribution of units among the Phases as compared to Exhibit B-2 (the original Phasing Map). However, the Maximum Residential Units have not changed, and Developer will construct no more than one hundred eighty-eight (188) Townhome units and no more than sixty (60) detached single family units. Notwithstanding the foregoing, when Developer submits final Plats for the Project, Developer may elect to pursue less density for each phase than is currently illustrated on Exhibit B-2.1.

4. **Parks.** Notwithstanding anything in Section 7.6 of the MDA to the contrary, the parties agree that the two (2) parks identified in the MDA will be completed and dedicated (either to the Town or to the HOA as provided in Section 7.6) at or prior to the time the final plat for Phase 3 of the Project is recorded. No certificate of occupancy will be issued for a Residential Dwelling Unit in Phase 3, or in any future phase within the Project, until construction of the Parks is complete and they have been dedicated, as provided in Section 7.6. Except as specifically modified by this Amendment, all provisions of Section 7.6 – and any other provisions of the MDA addressing parks – will remain in full force and effect.

5. **Screening of Townhome Lots.** In connection with the relocation of certain Townhome sites to Phase 1 and Phase 3, as identified above, Developer will take reasonable steps to ensure that such Townhome lots are screened from Highway 248. Such screening may include landscaping berms, trees or shrubbery, or fences consistent with the Design Guidelines attached to the MDA as Exhibit E-1. Developer's screening plan must be approved as a condition of the Town Council's approval of any amended plat for Phase 1 or Phase 3 identifying Townhomes.

6. **Maintenance Building.** In connection with Developer's construction of the Maintenance Building identified in Section 10.2 of the MDA, Developer will grade an access driveway allowing ingress and egress from a dedicated public street. The driveway need not be paved, but must be constructed, graded, and surfaced in a manner that allows for reasonable four-season maintenance.

7. **Approval by Town Council.** This First Amendment has been approved by the Town Council at a duly noticed public meeting.

8. **Scope of this First Amendment.** Other than a specifically amended herein by this First Amendment, the terms and conditions of the MDA shall remain in full force and effect.

4

DEVELOPER ACKNOWLEDGMENT

STATE OF UTAH )

:ss.

COUNTY OF SALT LAKE )

On the \_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me \_\_\_\_\_ who being by me duly sworn, did say that he is the manager of Western States Ventures, LLC , a Utah limited liability company, and that the foregoing instrument was duly authorized by the company at a lawful meeting held by authority of its operating agreement and signed in behalf of said company.

\_\_\_\_\_  
NOTARY PUBLIC

OWNER ACKNOWLEDGMENT

STATE OF UTAH )

:ss.

COUNTY OF SALT LAKE )

On the \_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me \_\_\_\_\_ who being by me duly sworn, did say that he is the manager of Holmes Western Deer Springs, LLC , a Utah limited liability company, and that the foregoing instrument was duly authorized by the company at a lawful meeting held by authority of its operating agreement and signed in behalf of said company.

\_\_\_\_\_  
NOTARY PUBLIC

My Commission Expires:

Residing at:

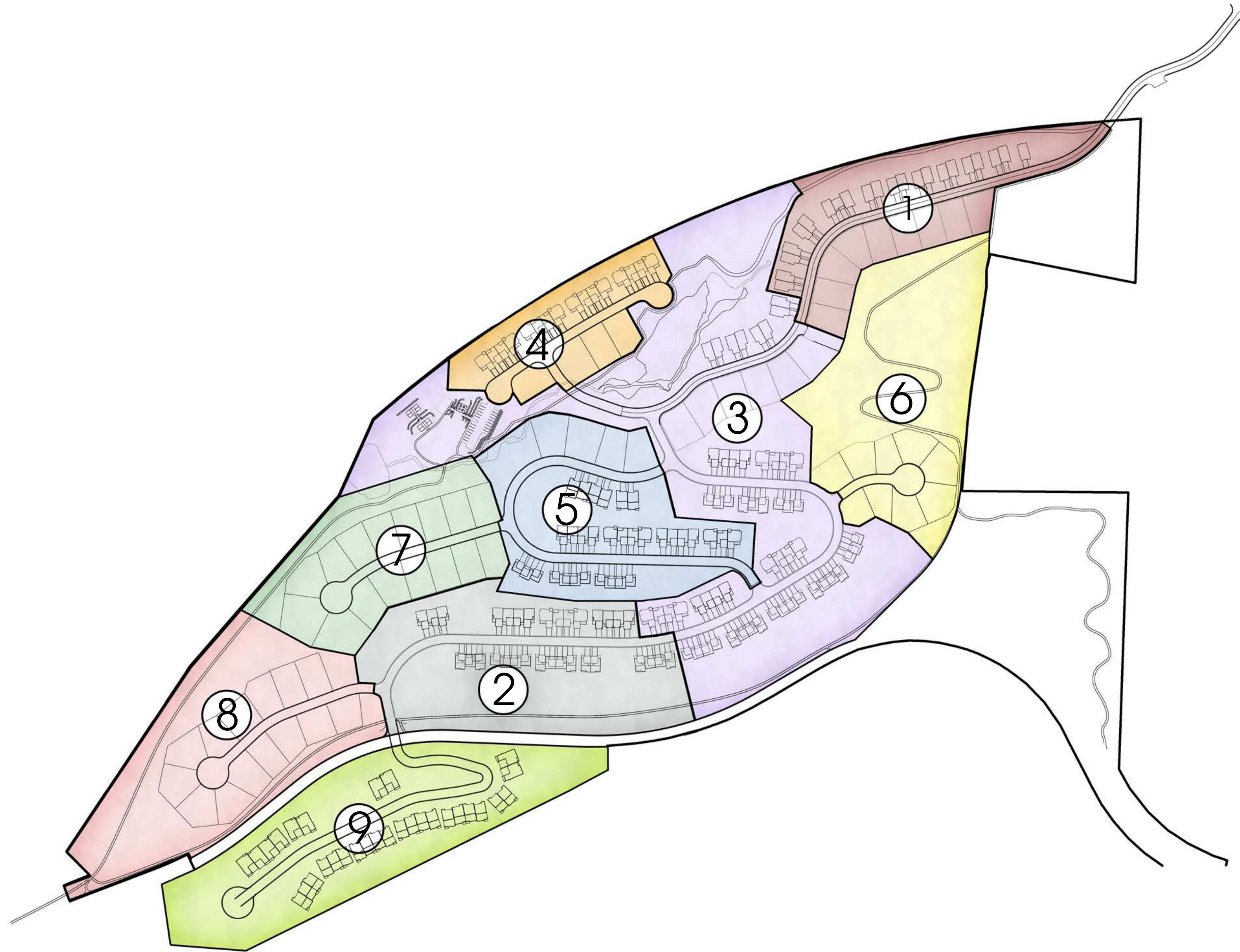
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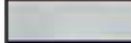


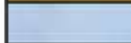
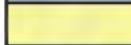

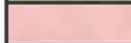
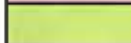
**EXHIBIT B-2.1**

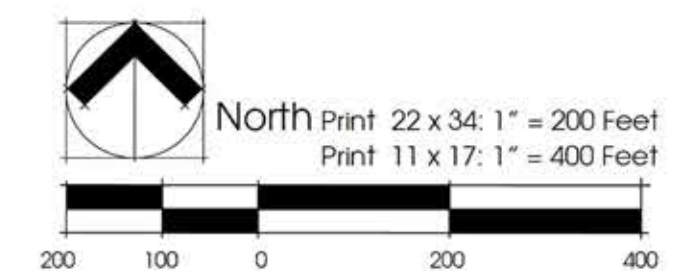
**(Revised Phasing Map)**





Phasing Plan . Deer Springs, Hideout, Utah . Holmes Homes

	Single family lots	Townhomes		Total Units
		Uphill Units	Downhill Units	
 Phase One	9	16	6	31
 Phase Two		17	15	32
 Phase Three	6	28	28	62
 Phase Four	4		16	20
 Phase Five	3	17	15	35
 Phase Six	9			9
 Phase Seven	15			15
 Phase Eight	14			14
 Phase Nine		20	10	30
Totals	60	98	90	248



29 APRIL 2020  
Phasing Plan

# DEER SPRINGS

Hideout, Utah

HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



**File Attachments for Item:**

2. Public Hearing - discussion and possible approval of Deer Springs Phase 1 plat amendment





## Staff Review for Town Council

To: Mayor Phil Rubin  
Town Council

From: Thomas Eddington Jr., AICP, ASLA  
Town Planner

Re: Deer Springs – Phase I Revision to Plat

Date: May 23, 2020

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*Submittals: The Applicant submitted a construction plan set dated 23 April 2020. No updated materials have been received.*

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### Project Background:

- The Applicant submitted updated plans proposing to:
  - Remove sixteen (16) single-family houses from Phase 1 (the upslope side of Bellaview Way) and replace them with 30 townhouses
  - The 16 single-family houses would then replace the 30 townhouses in a subsequent Phase. Applicant to confirm which Phase these units will be incorporated into.
  - No change to the overall density of Deer Springs is proposed.
  - No additional changes to the site plan or plat are proposed other than the requirement for additional utility and service connections.
- The plan set is missing:
  - Heights and locations of all proposed retaining walls
  - A structural analysis of these walls must be provided
  - A section of a typical tiered wall must be provided including materials, planting in the horizontal breaks, etc.

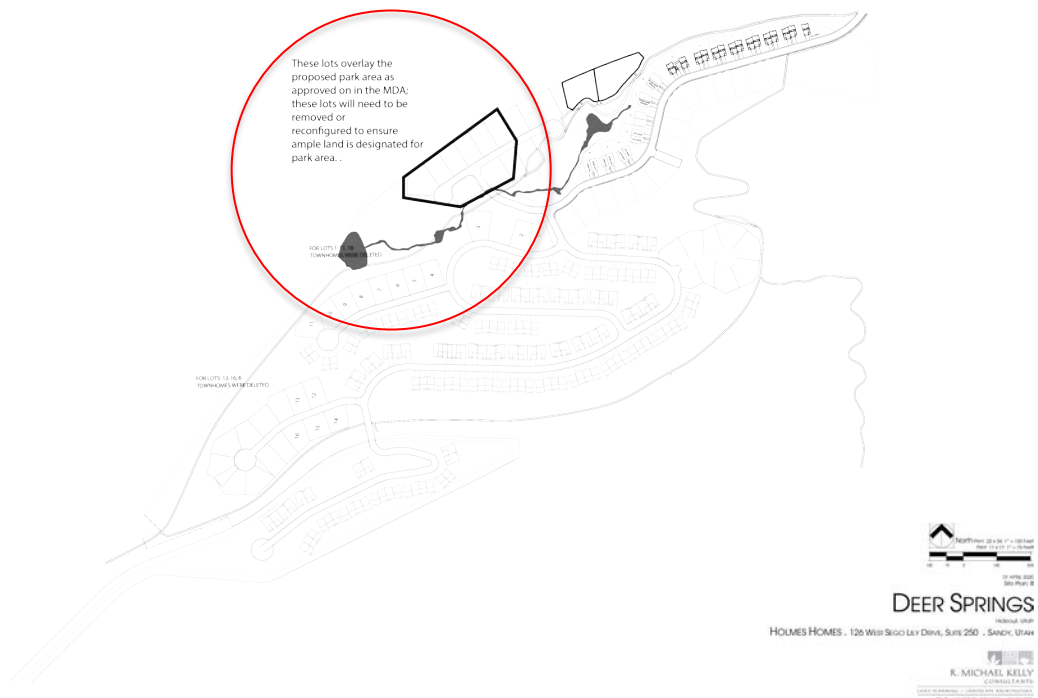
### Recommended Conditions of Approval for Preliminary Subdivision:

- Each drive lane for the entire Deer Springs development is illustrated at 13.5' wide; per recent recommendations by the Town Planner and Engineer, a paved bike lane shall be incorporated into all new rights-of-way construction.

## MDA Approved Plan



## Proposed Subdivision Plan



- (See prior page) Sheet G1.2: Thirteen (13) single-family units are shown as ‘future phase development’ at the end of Belaview Way. These units appear to have replaced a portion of the 3.5-acre park proposed with trails, pickle-ball courts, play area, and amphitheater. At the April 9, 2020 meeting, the Applicant noted the original 3.5-acre park will be located in its original location as identified on the plan included with the Master Development Agreement (MDA). The following overlay indicates approximately seven (7) lots that are included for future single-family lots that encroach onto the park area. These proposed future Lots shall be removed from the drawing (prior page) and the park area included with a timeline for construction that corresponds to completion no later than the completion of all Phase I units.
- Open Space: The Applicant must provide a signed commitment to begin construction of the proposed park and open space amenities per the Master Development Agreement (MDA) – Section 7.6 and pp. 90 – 92. An agreement indicating commencement of construction of the open space and park amenities once 33% of the proposed Deer Spring lots (total 248 lots) are completed shall be executed. Completion of the park and open space amenities shall be coordinated to be complete upon the Town awarding Certificates of Occupancy for 75% of the Deer Springs lots (75% of the 248 lots or 186 lots).
- There is an open space section between proposed downhill Lots 36 and 37 that is being reserved for a future right-of-way to Creekside Estates should that development move forward. If that development does not materialize, this land shall remain open space.
- Trails: Proposed trails (and surface type) to be completed as part of Phase I must be included within the plan set. All trails shall be built prior to completion of Phase I construction.
- All retaining wall information must be submitted to the Town Planner and Engineer for approval. If not accepted for approval by the Planner and Engineer, the Applicant agrees to appear before the Town Council for final approval or redesign. Attachment A illustrates a precedent image submitted by the Applicant for the proposed walls.
- Confirmation of Total Units and Type for all phases of Deer Springs: 60 single-family dwelling units and 188 townhouses.

**Attachment A**





**Staff Report – Engineering Department  
Town of Hideout Planning Commission**

**Date:** April 28, 2020  
**Applicant:** Nate Brockbank  
**Subject:** Deer Springs Phase 1 Plans – Amended  
**Recommendation:** Final Approval

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**BACKGROUND:**

Nate Brockbank has submitted the attached amended plan set for the Deer Springs Phase 1 development. This constitutes changes to the project which is already under construction. The application also includes plan sheets dedicated to the placement of utilities at the connection to Jordanelle Parkway.

**Application Details**

The application consists of modified construction plan set pages which are influenced by the changes to housing type in Phase One as well as the connection to Jordanelle Parkway.

**Density Change**

The reason for the presentation of this amended plan set is a change in housing on the east side of the Deer Springs main road, Belaview Drive. The original plan involved 16 Single Family Dwelling (SFD) lots on the east side of Belaview Drive and these are replaced by 30 townhomes. The 30 proposed units are shown as consisting of townhome buildings of 1, 2 or 3 units each.

This change in housing units constitutes a change in density for this Phase. In order to verify that the same density is maintained for the whole development, we have required an overall plan of the development as seen on Sheet G1.2. This overall site plan identifies the area northwest of Phase One which had previously consisted 30 townhome units (see the original plan attached) now changed to 16 SFD lots.

The west side of Belaview way in Phase One has not changed from the original plan, consisting of 15 SFD lots with a stub-out for a potential future roadway connection.

**Plat Requirements**

No plat has been recorded for this development. We understand that the Phase will be divided into two sub-phases 1A and 1B as shown on Sheet G1.2. See table below for Unit/Lot totals:

Phase	Townhomes	SFD Lots	Total Units
1A	22	9	31
1B	8	6	14
<b>Totals</b>	<b>30</b>	<b>15</b>	<b>45</b>

As a condition of approval, the plats should be submitted for review, approved and recorded prior to issuance of Certificates of Occupancy.





### **Secondary Access Requirements**

Secondary access is necessary to this development beyond 30 housing units. A change in density for this phase does not change this requirement. Therefore, a limit of 30 building permits (one for each unit, SFD or single townhome door) can be issued prior to completion of the roadway through to Jordanelle Parkway, which is currently under construction.

Pages PP1.4 through PP1.6 include details on placement of casings under Jordanelle Parkway for future connection. We understand that the placement of these connections and stub-out from Jordanelle Parkway is time-sensitive. However, a full plan set must be submitted and approved prior to construction of the roadway through the Deer Springs development to Jordanelle Parkway

### **Utility Changes**

Construction began on Deer Springs Phase One in 2019 and the sewer, water and gas lines have all been placed to approximately the end of Phase One while curb and gutter and roadbase have been placed to approximately Lot 11 with pavement completed to but not through the housing development.

The change in housing necessitates some change and a significant increase to the water and sewer line utility service laterals. The plan involves the installation of 28 new water/sewer laterals (according to our count). This involves digging in much of the already-prepared roadway subgrade. The emphasis on testing and meeting Town code is therefore added as a condition of approval.

Planning Commission approval is necessary prior to construction of utility changes necessary due to the Phase One density changes.

### **Outstanding Developer Balance**

We recommend that the Town verify that the developer have no outstanding balance with the Town prior to approval.

### **Townhome Design**

The design of the townhomes must be submitted for review and approval by the Design Review Committee (DRC) according to the Master Development Agreement (MDA) prior to issuance of building permits.

### **RECOMMENDATION:**

We can recommend approval of the changes to this plan set and the phasing of the development with no change in density to the overall development under the following Conditions of Approval:

- 1) The developer resolve any outstanding balance due to the Town of Hideout.
- 2) That the full set of construction plans including detail sheets which meet adopted Hideout Standards (JSSD for water and sewer, or APWA). Any other pertinent details should be copied from the original plan set to this construction set.
- 3) That construction of new laterals and backfill of the necessary trenches meet and be tested according to Town specifications.
- 4) The contractor schedule with due notice to have a Town Representative on site to inspect the connections to existing sewer and water main and abandonment of water and sewer laterals.
- 5) The design of the townhomes be reviewed according to the MDA and approved prior to issuance of building permits for the townhomes.
- 6) The development be limited to 30 building permits (1 permit per SFD or townhome door) until the roadway is completed through to the Jordanelle Parkway that is currently under construction.
- 7) That Plats 1A and 1B be submitted for review and be recorded prior to issuance of Certificates of Occupancy.



**T·O ENGINEERS**

- 8) A full plan set be submitted, reviewed and approved prior to construction of the roadway through Deer Springs connecting to Jordanelle Parkway.

**ATTACHMENTS:**

Current Overall Deer Springs Site Map

Plan Set incorporating changes necessary due to the change from SFD to townhomes.



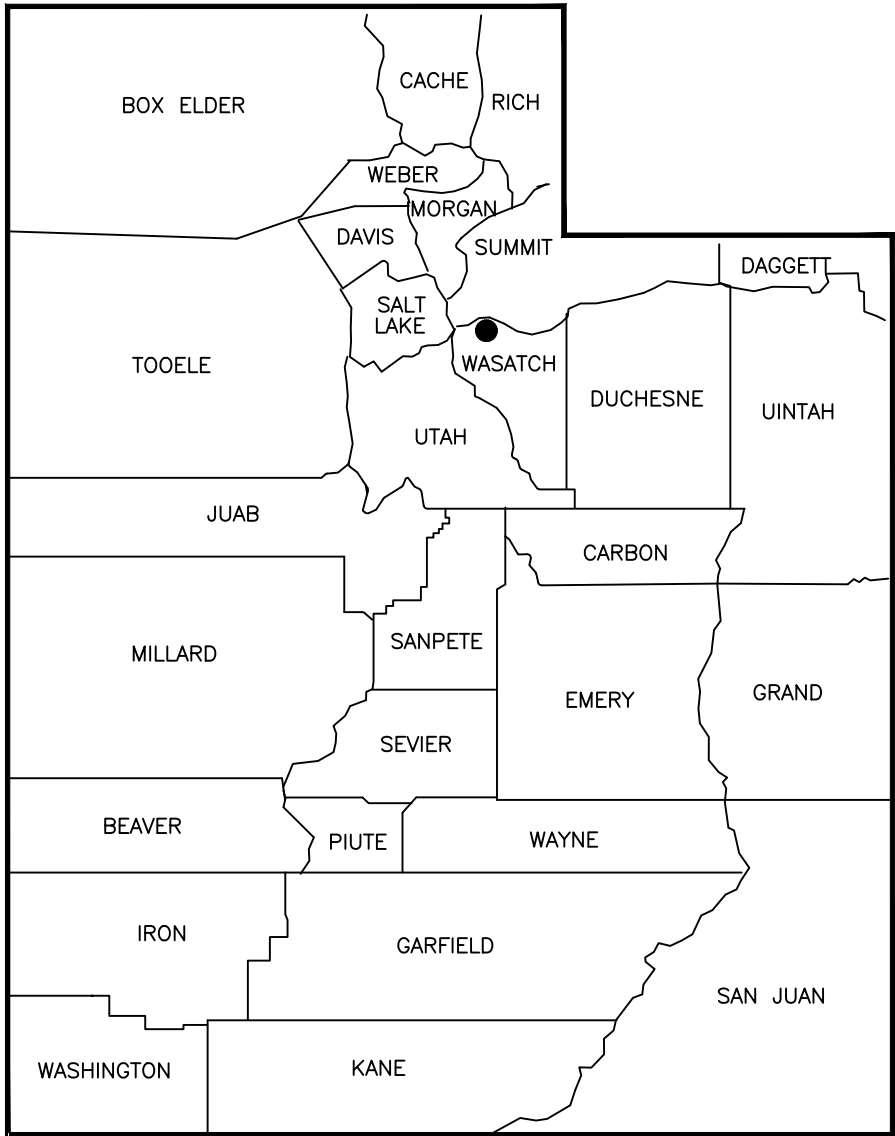




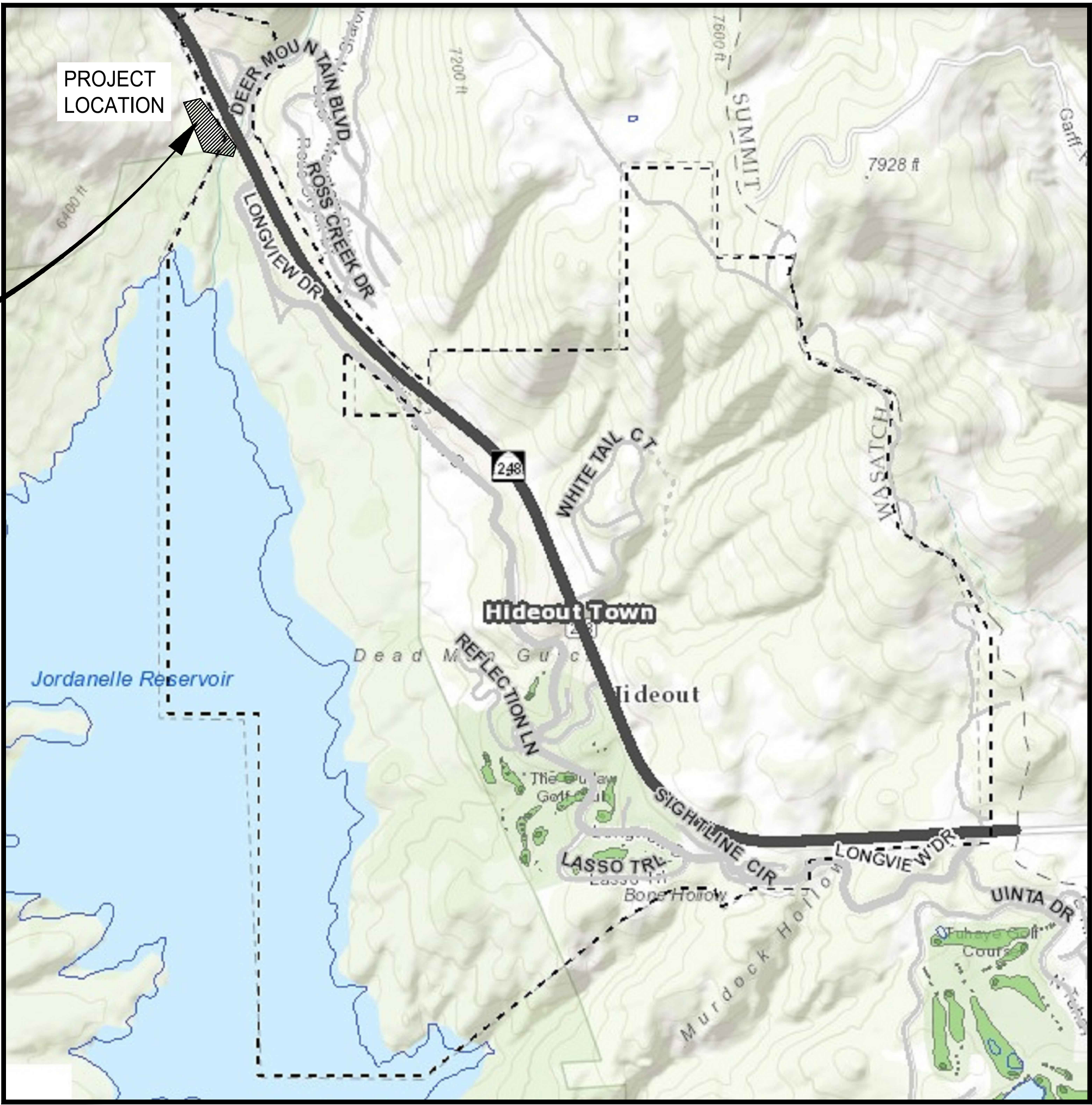
DEER SPRINGS - PHASE 1

TOWN OF HIDEOUT, UTAH

APRIL 22, 2020



VICINITY MAP



LOCATION MAP



SHEET INDEX	
SHEET NO.	SHEET TITLE
G1.0	COVER SHEET
G1.1	GENERAL NOTES
G1.2	OVERALL SITE PLAN
G1.3	SITE PLAN
G1.4	SITE PLAN
G1.5	UTILITY PLAN
G1.6	GRADING PLAN
G1.7	GRADING PLAN
G1.8	LIMITS OF DISTURBANCE & EROSION CONTROL PLAN
G1.9	LIMITS OF DISTURBANCE & EROSION CONTROL PLAN
PP1.1	PLAN AND PROFILE
PP1.2	PLAN AND PROFILE
PP1.3	PLAN AND PROFILE
PP1.4	OFF-SITE WATER LINE - NORTH END AND CASINGS
PP1.5	OFF-SITE NORTH END CASINGS
PP1.6	OFF-SITE WATERLINE PLAN
D1.1	DETAILS
D1.2	DETAILS
D1.3	DETAILS
D1.4	DETAILS

**NOTICE TO CONTRACTOR**  
UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

**UTILITY DISCLAIMER**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**OWNER**  
CONTACT: NATE BROCKBANK  
DEER SPRINGS  
2265 E. MURRAY HOLLADAY RD.  
PHONE: (801) 706-5557

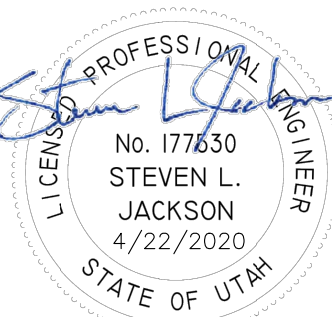
**ENGINEER**  
**JACKSON ENGINEERING**  
CONTACT: STEVE JACKSON  
3376 STONEHILL LANE  
SALT LAKE CITY, UT 84121  
PHONE: (801) 558-5293

**JACKSON ENGINEERING**  
3376 STONEHILL LANE  
COTTONWOOD HEIGHTS UTAH 84121  
PHONE (801) 558-5293

**FOR:**  
**OWNER:**  
DEER SPRINGS  
2265 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

**CONTACT:**  
NATE BROCKBANK  
(801) 706-5557

DEER SPRINGS PHASE 1  
COVER SHEET  
TOWN OF HIDEOUT, UTAH



NO.	DATE	REVISION	BY
1	3.30.20	TOWNHOMES ADDED	SJ
2	4.22.20	16 SITES/PHASE 1 A&B	SJ

PROJECT NO.: 18.062.105  
DATE: 4/22/2020

DRAWN BY: AN  
CHECKED BY: SJ

PROJECT MANAGER:  
S. JACKSON

COVER SHEET

G1.0



D:\PROJECTS\STEVE JACKSON\DEER SPRINGS - AUSTIN PROPERTY BASE FILES\SHEETS\G1.1 GENERAL NOTES.DWG 4/23/2020 12:55:42 PM

""THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: TOWN OF HIDEOUT STANDARD SPECIFICATIONS, AND THE UTAH CHAPTER AMERICAN PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION (UPWJ), WHERE APPLICABLE.
2. PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT TOWN OF HIDEOUT FOR A PRE-CONSTRUCTION CONFERENCE.

A. REGULATORY AGENCY:

TOWN OF HIDEOUT PUBLIC WORKS DEPT.  
10860 NORTH HIDEOUT TRAIL  
HIDEOUT, UT 84036  
(435) 659-4739

B. OWNER:

DEER SPRINGS  
2265 E. MURRAY HOLLADAY ROAD  
HOLLADAY, UT 84117

C. ENGINEER:

JACKSON ENGINEERING  
3376 STONEHILL LANE  
COTTONWOOD HEIGHTS, UT 84121  
PHONE: (801) 558-5293  
CONTACT: STEVE JACKSON

3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5. THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM TOWN OF HIDEOUT AND/OR WASATCH COUNTY, AND/OR UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8. THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
9. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF THE WORK.

IF, DURING THE EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE OWNER/ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF: (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

10. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

11. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.

12. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

13. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

14. THE CONTRACTOR AGREES THAT:

- A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
- B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
- C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
- D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
- E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
- F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

15. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

16. DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.

17. CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER AND LIGHT POLES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

18. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

20. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

21. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT ME CONTRACTOR'S EXPENSE. AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

22. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY. SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE. CONTRACTOR SHALL THEN SUBMIT MYLAR AND DISK TO CITY.

23. WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

24. SURVEY INFORMATION:

SITE BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BOUNDARY SPECIALISTS  
DAVID HAWKES, PLS  
(801) 792-1589  
DAVE@BOUNDARYSPECIALISTS.COM

CLEARING AND GRADING NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY BOUNDARY SPECIALISTS.

2. JACKSON ENGINEERING SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND SUBMIT REQUEST FOR SWPP PERMIT. OWNER REQUIRED TO OBTAIN OTHER PERMITS FROM TOWN OF HIDEOUT, WASATCH COUNTY AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

DEWATERING NOTES

1. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
2. THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
3. SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.
4. THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

UNDERGROUND UTILITIES

1. THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION AND/OR THE ALTA SURVEY. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY- EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
2. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A TRENCH BOX.
4. PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
5. IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
6. THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY -TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND IN ACCORDANCE WITH DRAPER CITY, TOWN OF HIDEOUT STANDARDS AND SPECIFICATIONS.
7. RCP PIPE SHALL BE CLASS III PIPE UNLESS OTHERWISE NOTED ON PLANS.
8. ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE TOWN OF HIDEOUT STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEAN OUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.
9. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF TOWN OF HIDEOUT PERSONNEL ONLY.
10. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.
11. THE CONTRACTOR SHALL NOTIFY TOWN OF HIDEOUT PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.
12. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.
13. WATER PIPE SHALL BE HDPE DRY1 APPROVED EQUIVALENT. WATER PIPE SHALL BE INSTALLED AND TESTED TO TOWN OF HIDEOUT STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.
14. STRAIGHT LINE SEWER PIPE IS TO BE PVC SDR-35 OR APPROVED EQUAL AND TESTED TO TOWN OF HIDEOUT STANDARDS.
15. STRAIGHT STORM DRAIN PIPING IS TO BE REINFORCED CONCRETE PIPE (RCP) OR ADS PIPE AS SHOWN ON THESE PLANS. CURVED STORM DRAIN TO BE HDPE SDR-32.5 STORM DRAIN LINE OR APPROVED EQUAL CURVED STORM DRAIN LINES SHALL HAVE A SLOPE OF 4% OR GREATER, AND A TRACER WIRE. ALL STORM DRAIN SHALL BE INSTALLED AND TESTED TO TOWN OF HIDEOUT STANDARDS.
16. THRUST BLOCKING SHALL BE CONSTRUCTED PER TOWN OF HIDEOUT STANDARDS AND SPECIFICATIONS.
17. CONTRACTOR IS REQUIRED TO SUBMIT AS BUILT SEWER LATERAL LOCATIONS PER TOWN OF HIDEOUT STANDARD.
18. CONTRACTOR IS REQUIRED TO SUBMIT AS-BUILT DRAWINGS SHOWING ALL FIELD CHANGES INCLUDING BUT NOT LIMITED TO:  
A.DRY UTILITIES THAT ARE MORE THAN A FOOT OFF OF LOCATION SHOWN ON TYPICALS  
B.WATER SERVICE LATERALS THAT ARE MORE THAN A FOOT OFF OF CALL OUT LOCATIONS ON UTILITY PLAN  
C.ALL CHANGES OR ADDITIONS TO THE STORM DRAIN UTILITY.

ADDITIONAL UTILITY INFORMATION & NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES DURING CONSTRUCTION AND NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IF A UTILITY CONFLICT IS FOUND.
2. CONTRACTOR SHALL USE PRECAUTIONS AND SAFEGUARDS TO ENSURE THAT THE EXISTING SURROUNDING PROPERTIES ARE PROTECTED FROM DAMAGE DURING EXCAVATION & CONSTRUCTION.
3. ALL WORK PERFORMED PER TOWN OF HIDEOUT STANDARDS AND SHALL BE DONE BY A LICENSED GENERAL CONTRACTOR WITH INSURANCE AND BOND AND REQUIRED BY TOWN OF HIDEOUT.

WATER NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING VALVES AT THE CONNECTION POINTS PRIOR TO BEGINNING WATER LINE CONSTRUCTION. IF ANY CONFLICTS WITH OTHER UTILITIES EXIST, CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY TO INVESTIGATE CONFLICT RESOLUTION.
2. ALL CULINARY, AND FIRE PROTECTION WATER LINE CONSTRUCTION SHALL CONFORM TO TOWN OF HIDEOUT DETAILS AND SPECIFICATIONS.
3. ALL GATE VALVES SHALL BE INSTALLED PER TOWN OF HIDEOUT STANDARDS.
4. ALL WATER LINE THRUST BLOCKING SHALL CONFORM TO TOWN OF HIDEOUT STANDARDS.
5. ALL FIRE HYDRANTS SHALL BE INSTALLED COMPLETE PER TOWN OF HIDEOUT STANDARDS.
6. ALL WATER METERS SHALL BE INSTALLED PER TOWN OF HIDEOUT STANDARDS.
7. IF ANY WATER LINE LOOPS ARE REQUIRED, THEY SHALL BE INSTALLED IN CONFORMANCE WITH TOWN OF HIDEOUT STANDARDS.
8. ALL BLOW-OFFS SHALL BE INSTALLED PER TOWN OF HIDEOUT STANDARDS.

SEWER NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF HIDEOUT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING AND NEW SEWER LINES.
3. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

SURFACE IMPROVEMENTS

1. SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHALL BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 95 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D1557, MODIFIED PROCTOR ASTM D698). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS MOISTURE.
2. GRANULAR SUB BASE GRANULAR MATERIAL MUST BE CLEAR OF ORGANIC AND DELETERIOUS MATERIAL AND COMPACTED WITH PROPER MOISTURE CONTENT TO THE BOTTOM OF THE AGGREGATE BASE ELEVATION AT 95 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D1557, MODIFIED PROCTOR ASTM D698).
3. AGGREGATE BASE: AGGREGATE BASE SHALL COMPLY WITH THE GUIDELINE REQUIREMENTS FOR PAVEMENT DESIGN IN THE REPORTS CITED ABOVE BY IGES GEOTECHNICAL. THE AGGREGATE BASE SHALL BE DENSIFIED TO AT LEAST 95 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D1557, MODIFIED PROCTOR ASTM D698).
4. ASPHALTIC CONCRETE: ASPHALTIC CONCRETE SHALL BE 3 INCHES THICK AND COMPACTED TO AT LEAST 96 PERCENT OF THE MATERIAL'S MAXIMUM MARSHALL DENSITY IN ACCORDANCE WITH ASTM D1559.
5. ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. IN PAVED AREAS, PROVIDE A 1 FOOT BY 1/2 FOOT COLLAR. SET COLLAR 3/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE COLLAR FOR ALL VALVES PER RESPECTIVE WATERPROOF STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES. COLLARS SHALL BE CONCRETE.
6. MEASUREMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.

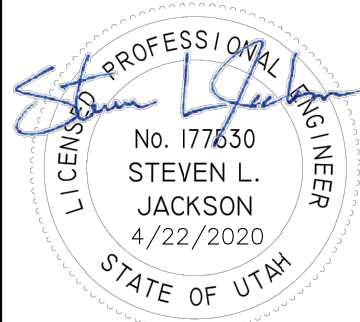
GRADING NOTES

1. THE FINISH GRADE CONTOURS ARE SHOWN TO EXTEND BEYOND THE ROAD PLATFORM TO ILLUSTRATE POTENTIAL GRADING OPTIONS AROUND THE HOMES BUT THEY HAVE NOT BEEN DESIGNED TO WORK WITH ANY SPECIFIC HOME DESIGN AND SHOULD NOT BE RELIED ON. THE ROAD GRADING WILL BE LIMITED TO THAT REQUIRED FOR THE ROAD PLATFORM AND THE UTILITY EASEMENT.
2. ROAD GRADING ALONG HOME FRONTAGE SHOULDER: SLOPES BEYOND THE UTILITY EASEMENT WILL BE AS STEP AS THE SOIL CONDITIONS WILL ALLOW AND THAT ARE REASONABLE TO CONSTRUCT. SLOPES SHALL BE STEEPER THAN OR EQUAL TO 2:1 SLOPES IN CUT OR FILL CONDITIONS.
3. ROAD GRADING OUTSIDE OF HOME FRONTAGES SHOULDER SLOPES BEYOND THE UTILITY EASEMENT WILL BE AS STEP AS THE SOIL CONDITIONS WILL ALLOW AND THAT ARE REASONABLE TO CONSTRUCT AND THAT ARE APPROVED BY SOILS ENGINEER. SLOPES SHALL BE STEEPER THAN OR EQUAL TO 3:1 SLOPES IN CUT OR FILL CONDITIONS
4. GRADING SLOPES FOR DETENTION BASINS AND INSTALLATION OF UTILITIES WILL BE APPROVED BY THE SOILS ENGINEER AND THE TOWN ENGINEER.
5. ALL GRADING BEYOND THE AREA DESCRIBED ABOVE WILL REQUIRE APPROVAL FROM THE DESIGN REVIEW COMMITTEE AND THEN FROM THE TOWN DURING THE BUILDING PERMIT REVIEW PROCESS.

DEER SPRINGS PHASE 1  
GENERAL NOTES

TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020



NO.	DATE	REVISION	BY

PROJECT NO.: 18.062.105	DATE: 4/22/2020
DRAWN BY: AN	CHECKED BY: SJ

PROJECT MANAGER:  
S. JACKSON

GENERAL NOTES

G1.1

FOR:  
OWNER:

DEER SPRINGS  
2265 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

CONTACT:  
NATE BROCKBANK  
(801) 706-5557

JACKSON ENGINEERING  
3376 STONEHILL LANE  
COTTONWOOD HEIGHTS UTAH 84121  
PHONE (801) 558-5293



FOR CONSTRUCTION - 4/22/2020

NO.	DATE	REVISION	
1	3.30.20	TOWNHOMES ADDED	
2	4.22.20	16 SITES/PHASE 1 A&B	

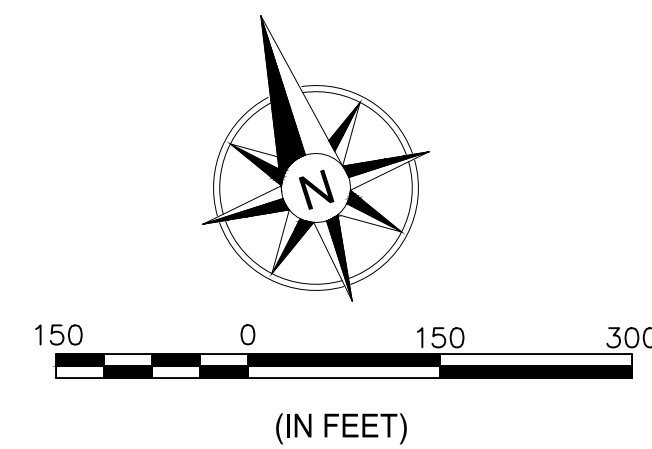
PROJECT NO.:	DATE:
18.062.105	4/22/202
DRAWN BY:	CHECKED BY:
AN	S.J

PROJECT MANAGER:
S. JACKSON

OVERALL SITE PLAN

## G1.2

SINGLE FAMILY LOTS - 31



16 SINGLE FAMILY COTTAGES  
PLANNED FOR THIS AREA

## FUTURE DEVELOPMENT

PHASE 1B

PHASE 1A

G1.3

G1.4

EXISTING JSSP  
PUMP HOUSE

FRISBY PARCE  
88,061 SF

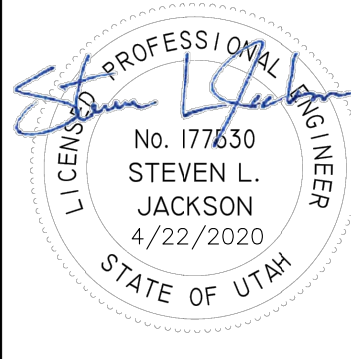
SHORELINE DRIVE



FOR:  
OWNER:  
DEER SPRINGS  
2265 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117  
CONTACT:  
NATE BROCKBANK  
(801) 706-5557

DEER SPRINGS PHASE 1  
SITE PLAN  
TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020

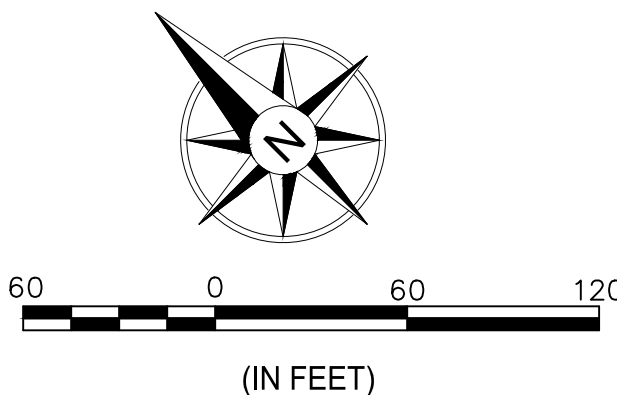
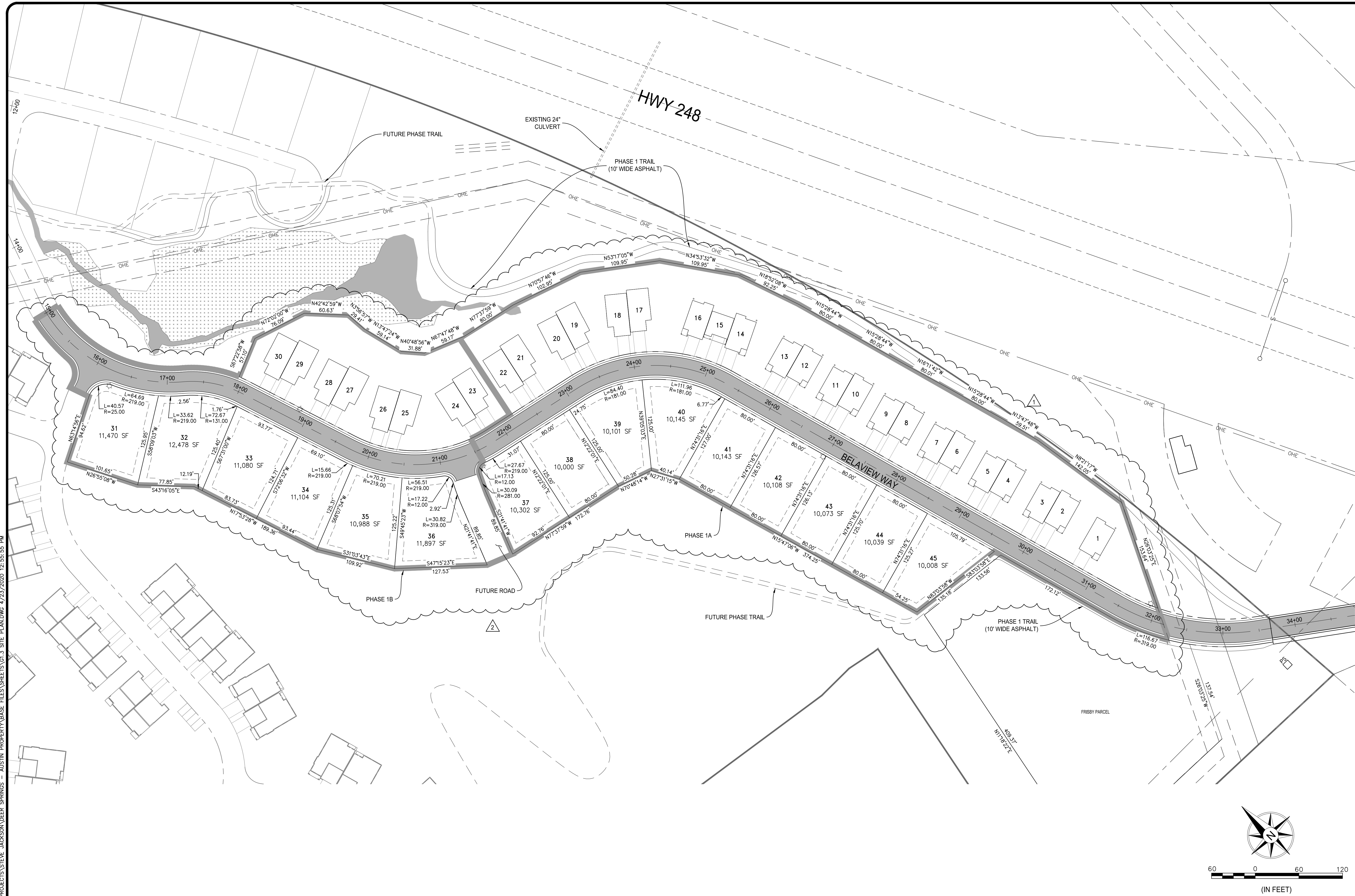


NO.	DATE	REVISION	BY
1	3.30.20	TOWNHOMES ADDED	SJ
2	4.22.20	16 SITES/PHASE 1 A&B	SJ

PROJECT NO.:	DATE:
18.062.105	4/22/2020
DRAWN BY:	CHECKED BY:
AN	SJ
PROJECT MANAGER:	
S. JACKSON	

SITE PLAN

G1.3





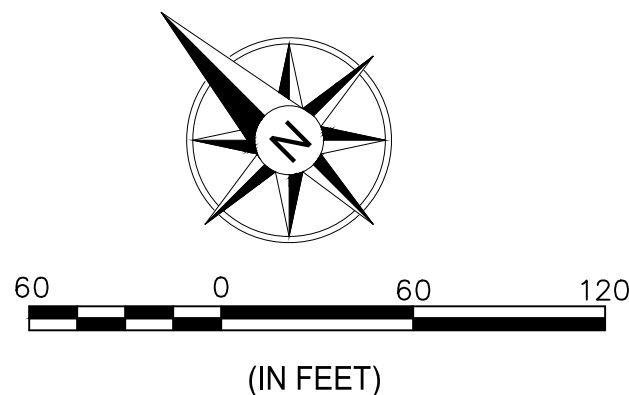
LICENSED PROFESSIONAL ENGINEER  
 No. 177630  
 STEVEN L. JACKSON  
 4/22/2020  
 STATE OF UTAH

NO.	DATE	REVISION	E

PROJECT NO.:	DATE:
18.062.105	4/22/2020
DRAWN BY:	CHECKED BY:
AN	SJ

PROJECT MANAGER:  
S. JACKSON

## G1.4

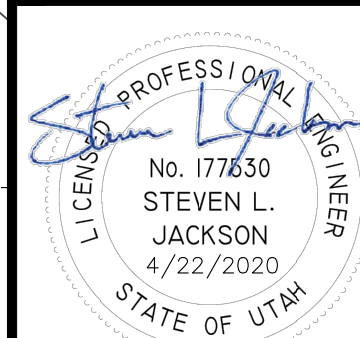




FOR:  
OWNER:  
DEER SPRINGS  
2265 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117  
CONTACT:  
NATE BROCKBANK  
(801) 706-5557

DEER SPRINGS PHASE 1  
UTILITY PLAN  
TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020



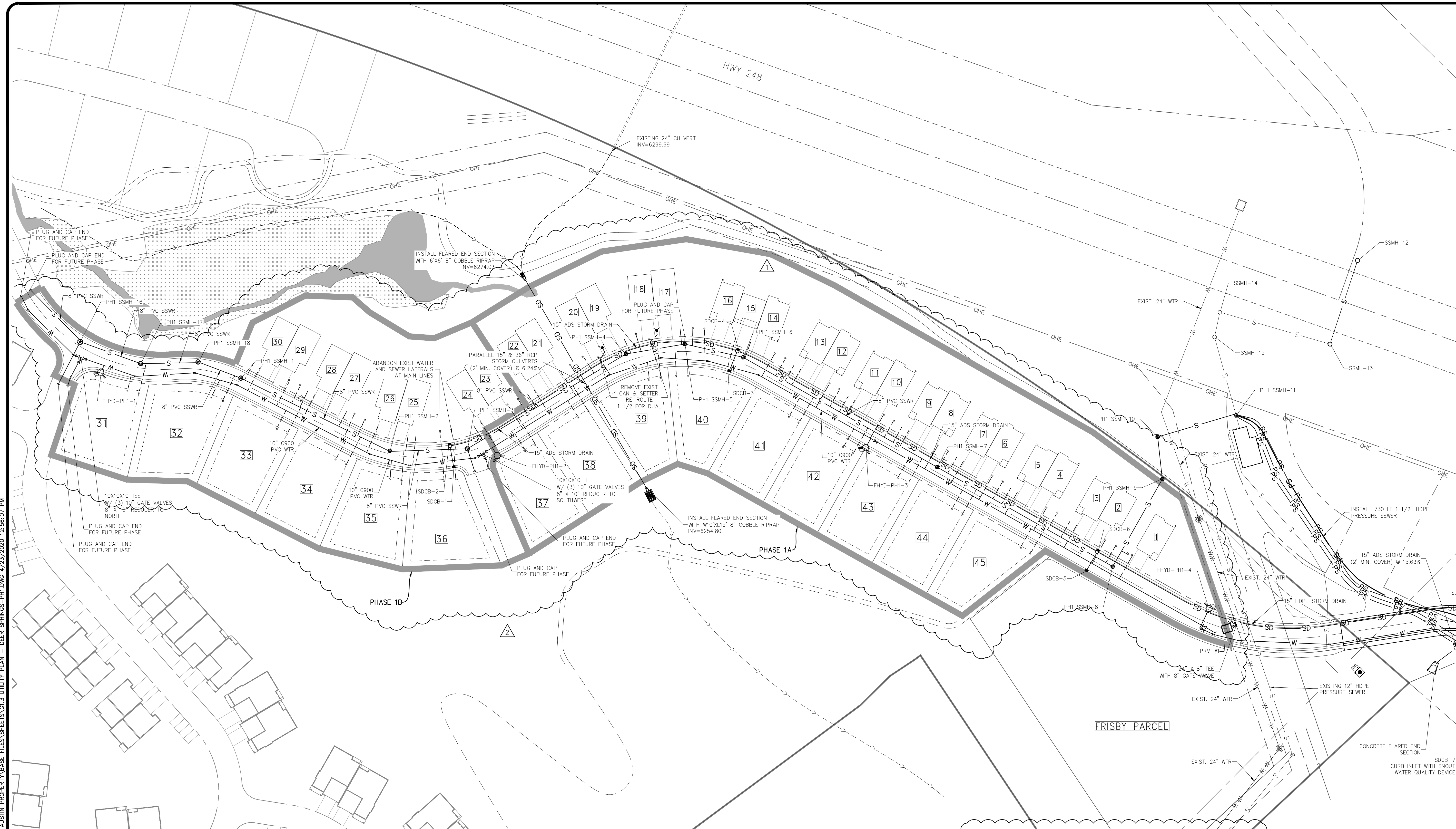
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2	4.22.20	16 SITES/PHASE 1 A&B	SJ

PROJECT NO.:	DATE:
18.062.105	4/22/2020
DRAWN BY:	CHECKED BY:
AN	SJ

PROJECT MANAGER:  
S. JACKSON

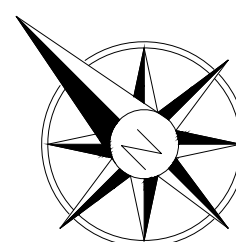
UTILITY PLAN

G1.5



NOTES:

1. WATER LATERALS TO BE 1-1/2" POLY
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3. \* DENOTES LATERALS ALREADY CONSTRUCTED AND IN-PLACE.
4. ABANDON THE WATER & SEWER SERVICE LATERALS BETWEEN UNITS 24 & 25 AT THE MAIN LINES. PER JSSD STANDARD REQUIREMENTS. FOR WATER SERVICE REMOVE CORP STOP AT MAIN AND INSTALL THREADED PLUG. FOR SEWER SERVICE INSTALL CAP ON WYE AT THE MAIN. TOWN OF HIDEOUT REPRESENTATIVE TO VERIFY PRIOR BACKFILL.



(IN FEET)



FOR:  
OWNER:  
DEER SPRINGS  
2265 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117  
CONTACT:  
NATE BROCKBANK  
(801) 706-5557

DEER SPRINGS PHASE 1  
GRADING PLAN  
TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020

PROFESSIONAL  
No. 177630  
STEVEN L.  
JACKSON  
4/22/2020  
STATE OF UTAH

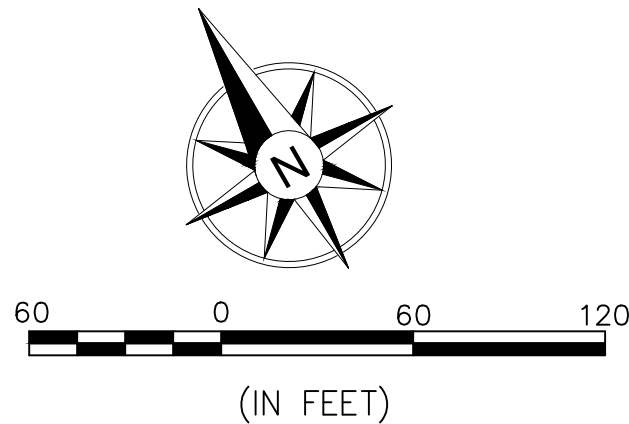
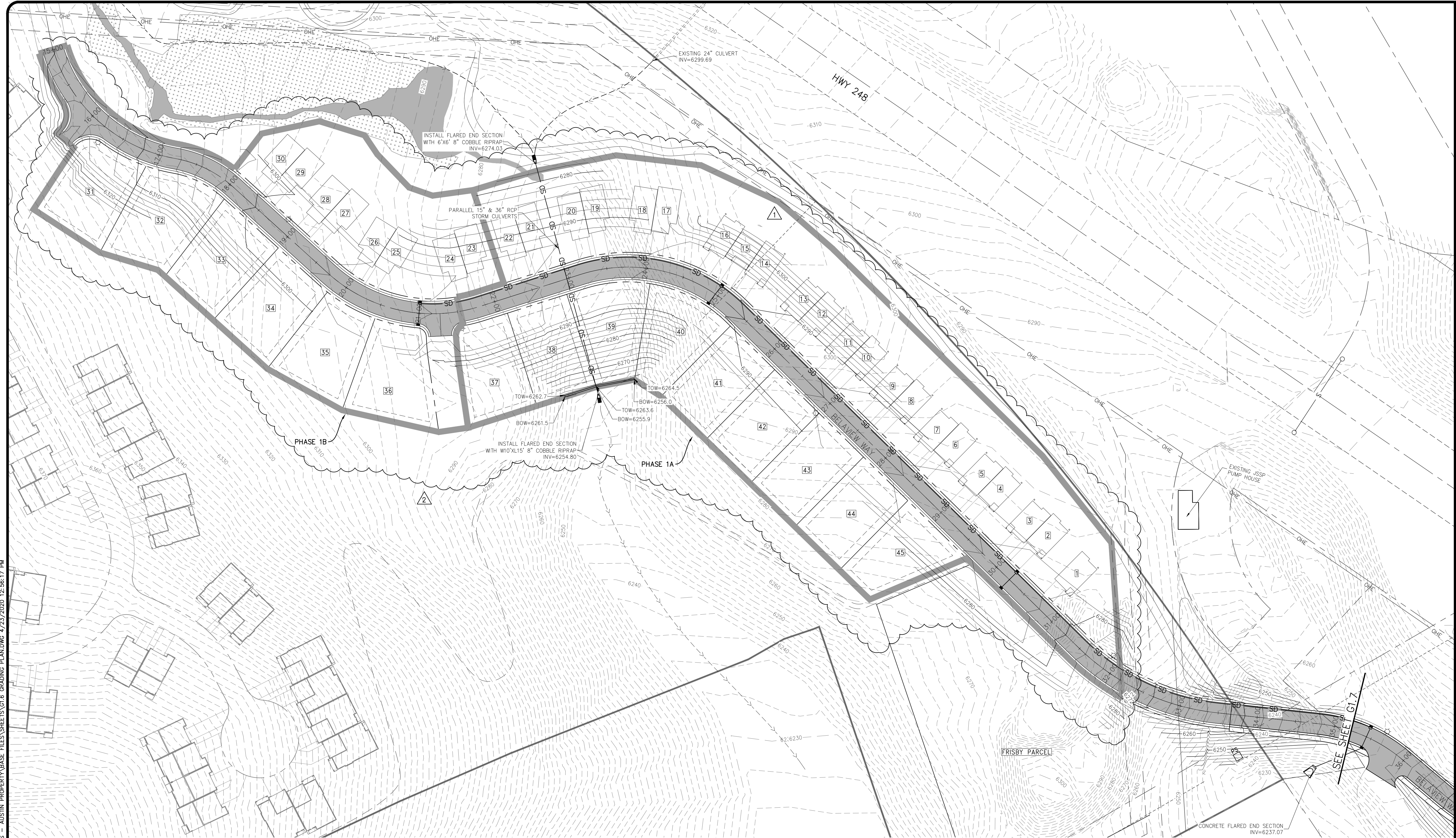
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2	4.22.20	16 SITES/PHASE 1 A&B	SJ

PROJECT NO.:  
18.062.105  
DATE:  
4/22/2020  
DRAWN BY:  
AN  
CHECKED BY:  
SJ

PROJECT MANAGER:  
S. JACKSON

GRADING PLAN

G1.6





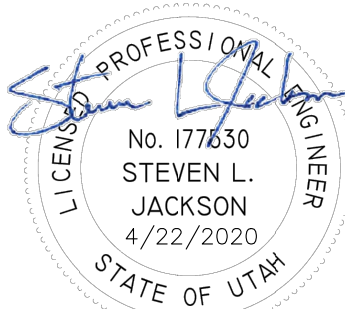
DEER SPRINGS  
2265 EAST MURRAY HOLLADAY RD  
HOLLADAY, UT 84117

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CONTACT:  
NATE BROCKBANK  
(801) 706-5557

DEER SPRINGS PHASE 1  
GRADING PLAN  
TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020



NO.	DATE	REVISION	E

PROJECT NO.:	DATE:
18.062.105	4/22/2020
DRAWN BY:	CHECKED BY:
AN	SJ

PROJECT MANAGER:  
S. JACKSON

## GRADING PLAN

G1.7





JACKSON ENGINEERING  
3376 STONEHILL LANE  
COTTONWOOD HEIGHTS UTAH 84121  
PHONE (801) 556-5293

FOR:  
OWNER:  
DEER SPRINGS  
2285 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117  
CONTACT:  
NATE BROCKBANK  
(801) 706-5557

DEER SPRINGS PHASE 1  
LIMITS OF DISTURBANCE & EROSION CONTROL PLAN  
TOWN OF HIDEOUT, UTAH

PROFESSIONAL  
No. 177630  
STEVEN L. JACKSON  
4/22/2020  
STATE OF UTAH

NO.	DATE	REVISION	BY
1	3.30.20	TOWNHOMES ADDED	SJ
2	4.22.20	16 SITES/PHASE 1 A&B	SJ

PROJECT NO.:	DATE:
18.062.105	4/22/2020
DRAWN BY:	CHECKED BY:
AN	SJ

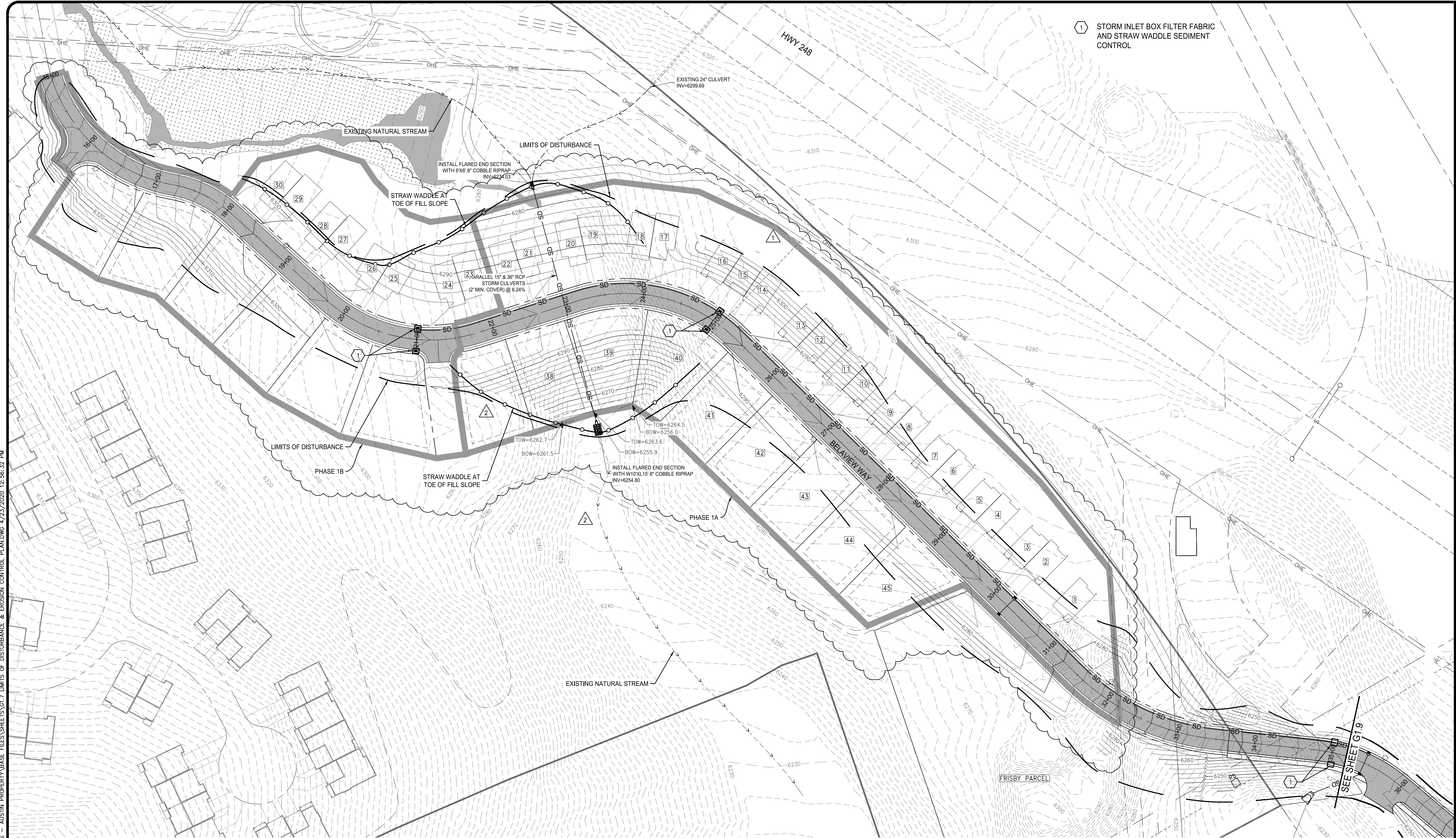
PROJECT MANAGER:  
S. JACKSON

LIMITS OF DISTURBANCE &  
EROSION CONTROL PLAN

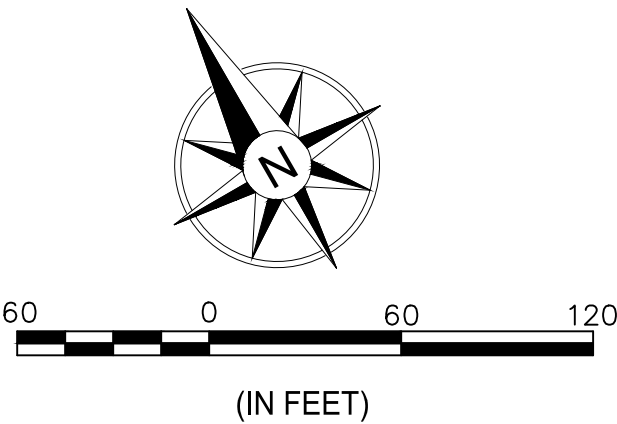
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FOR CONSTRUCTION - 4/22/2020

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NOTE:  
ALL EXISTING VEGETATION OUTSIDE OF LIMITS  
OF DISTURBANCE WILL REMAIN INTACT.



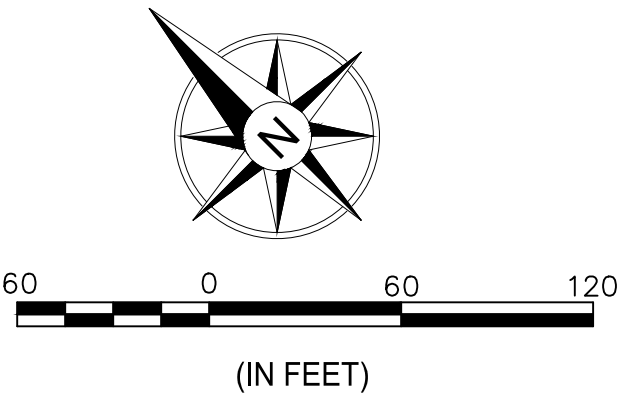


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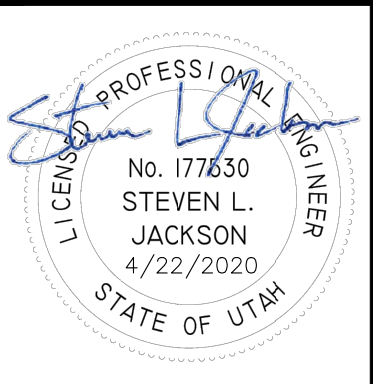


NOTE:

ALL EXISTING VEGETATION OUTSIDE OF LIMITS OF DISTURBANCE WILL REMAIN INTACT.



DEER SPRINGS PHASE 1  
LIMITS OF DISTURBANCE & EROSION CONTROL PLAN  
TOWN OF HIDEOUT, UTAH



NO.	DATE	REVISION	BY
2	4.22.20	16 SITES/PHASE 1 A&B	SJ

PROJECT NO.: 18.062.105	DATE: 4/22/2020
DRAWN BY: AN	CHECKED BY: SJ
PROJECT MANAGER: S. JACKSON	

LIMITS OF DISTURBANCE &  
EROSION CONTROL PLAN  
G1.9

FOR:  
OWNER:  
DEER SPRINGS  
2265 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117  
CONTACT:  
NATE BROCKBANK  
(801) 706-5557

JACKSON ENGINEERING  
3376 STONEHILL LANE  
COTTONWOOD HEIGHTS UTAH 84121  
PHONE (801) 566-5293

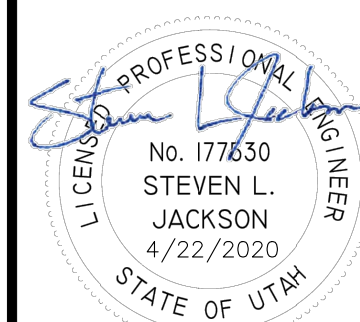
FOR CONSTRUCTION - 4/22/2020



FOR:  
OWNER:  
DEER SPRINGS  
2285 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117  
CONTACT:  
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(801) 706-5557

DEER SPRINGS PHASE 1  
PLAN AND PROFILE  
TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020

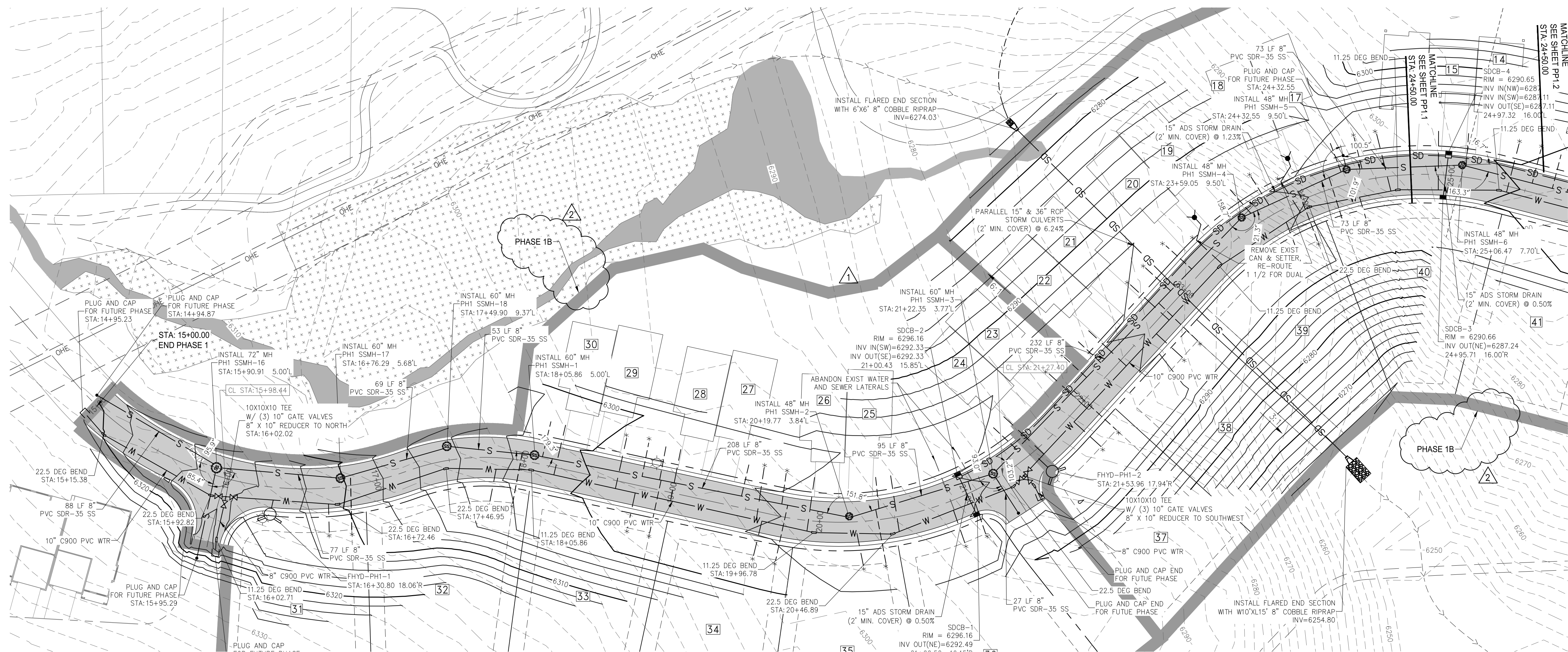


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2	4.22.20	16 SITES/PHASE 1 A&B	SJ

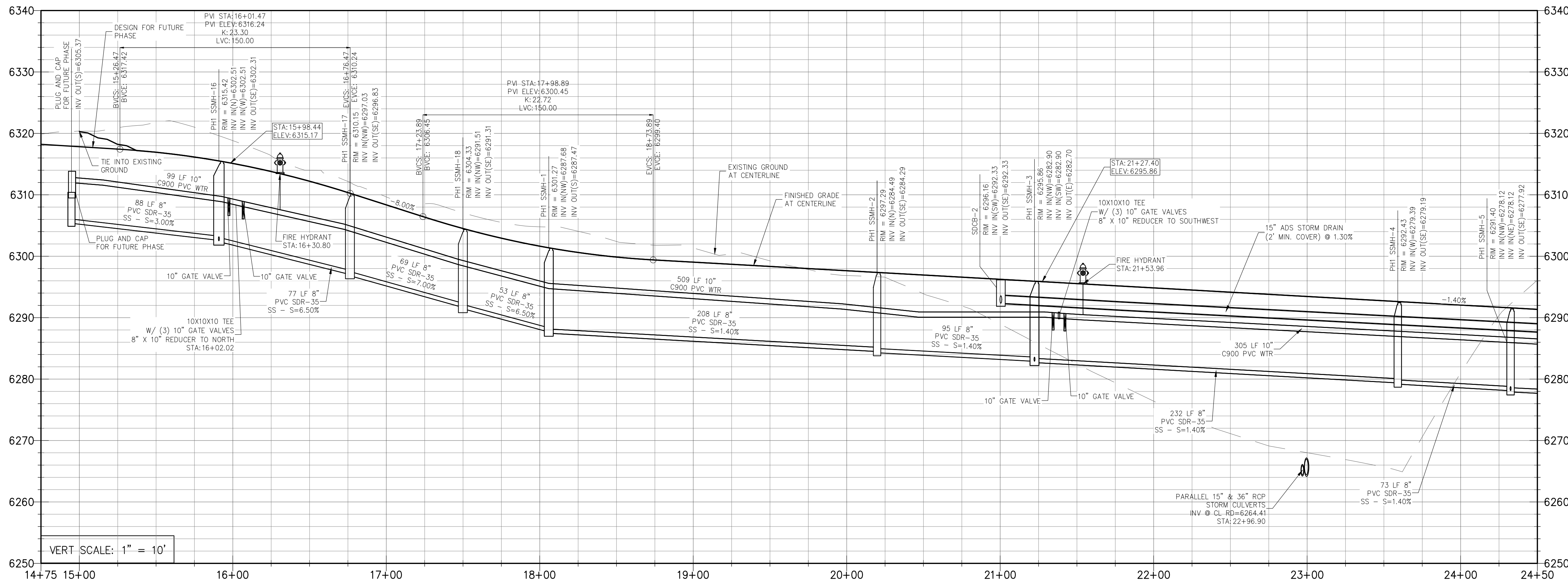
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18.062.105  
DATE:  
4/22/2020  
DRAWN BY:  
AN  
CHECKED BY:  
SJ  
PROJECT MANAGER:  
S. JACKSON

PLAN AND PROFILE

PP.1

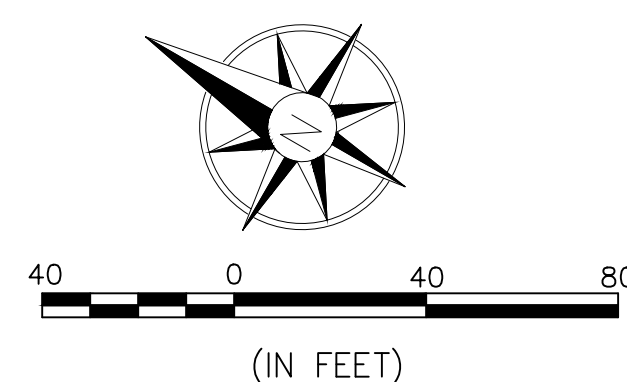


BELAVIEW WAY



NOTES:

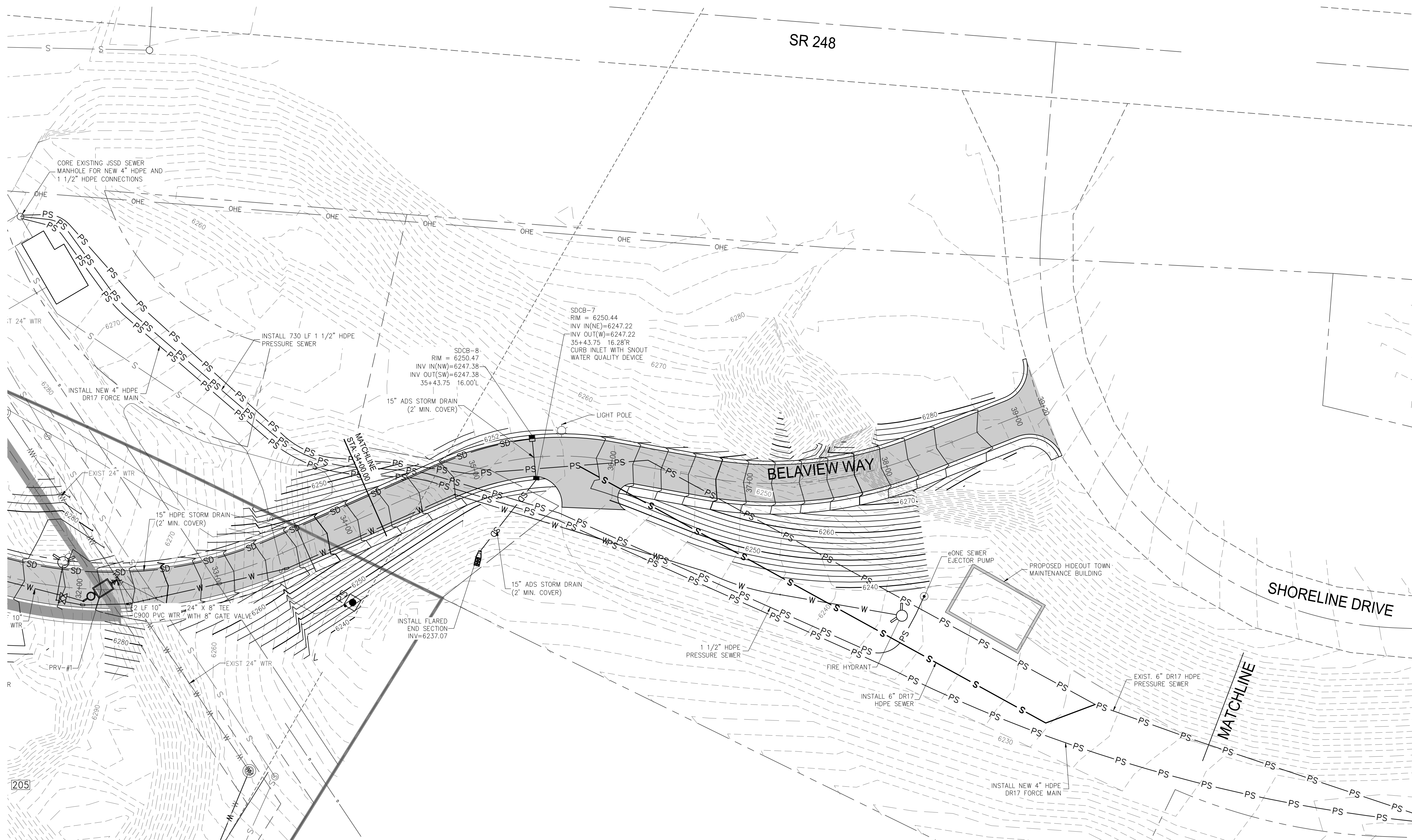
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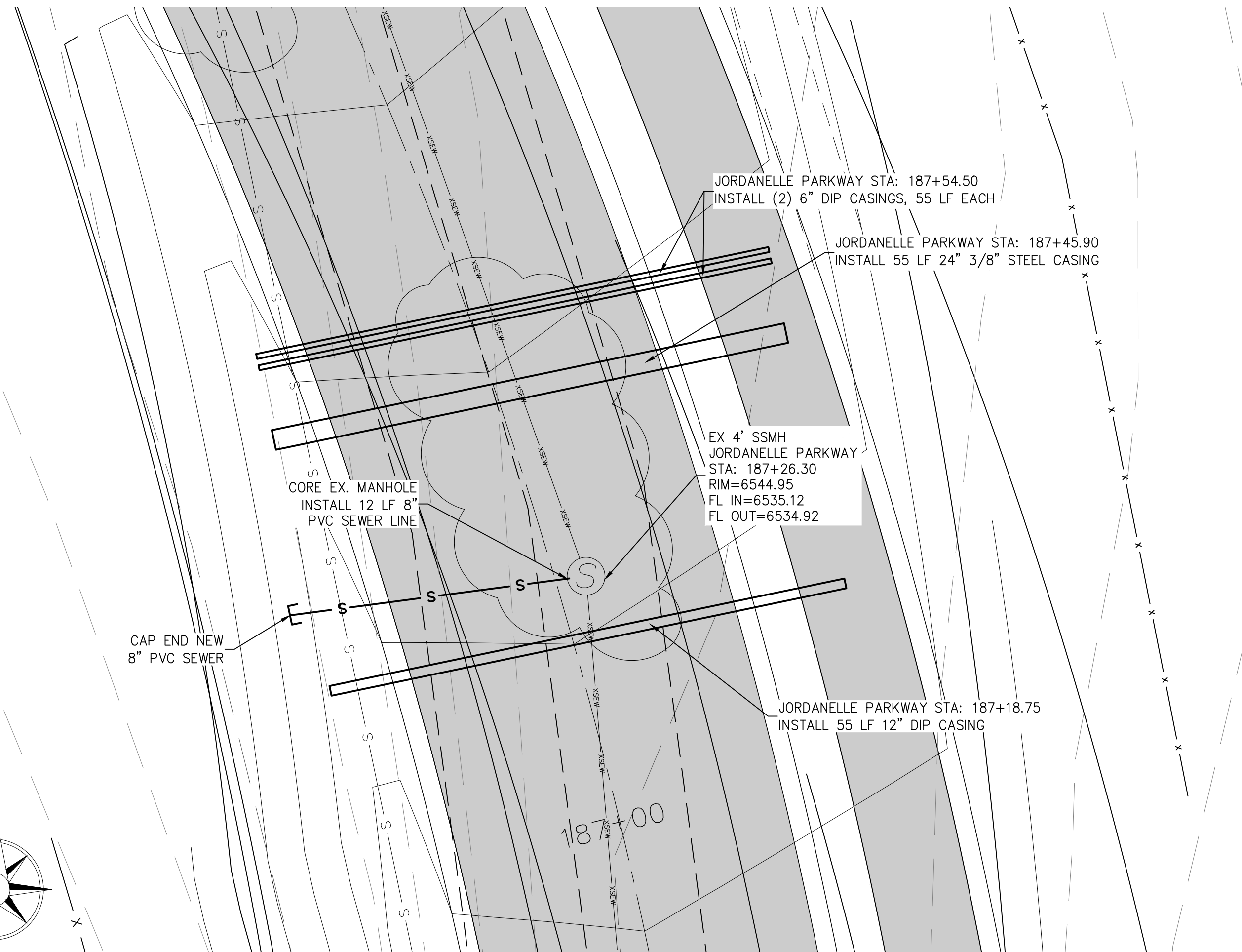
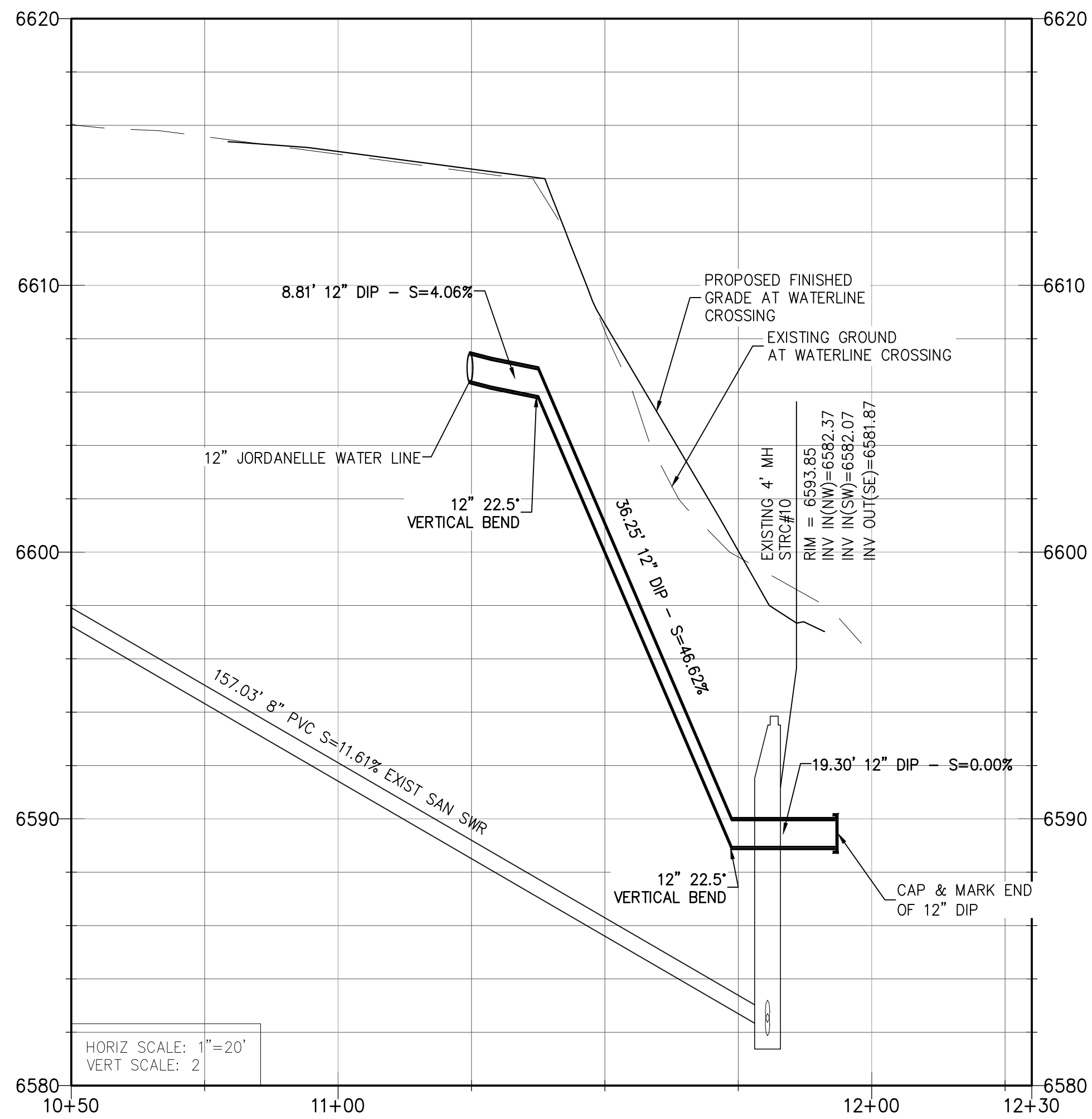
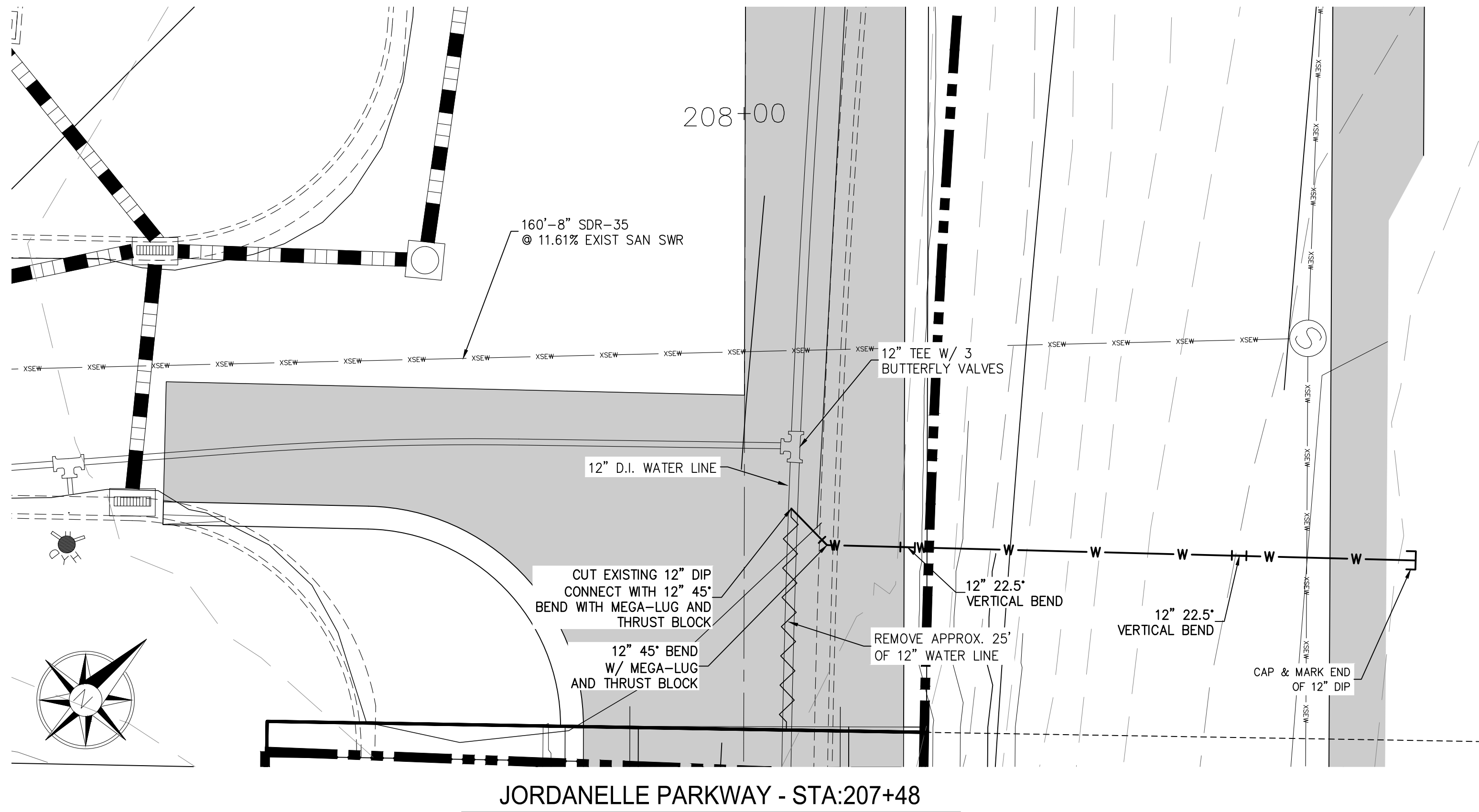




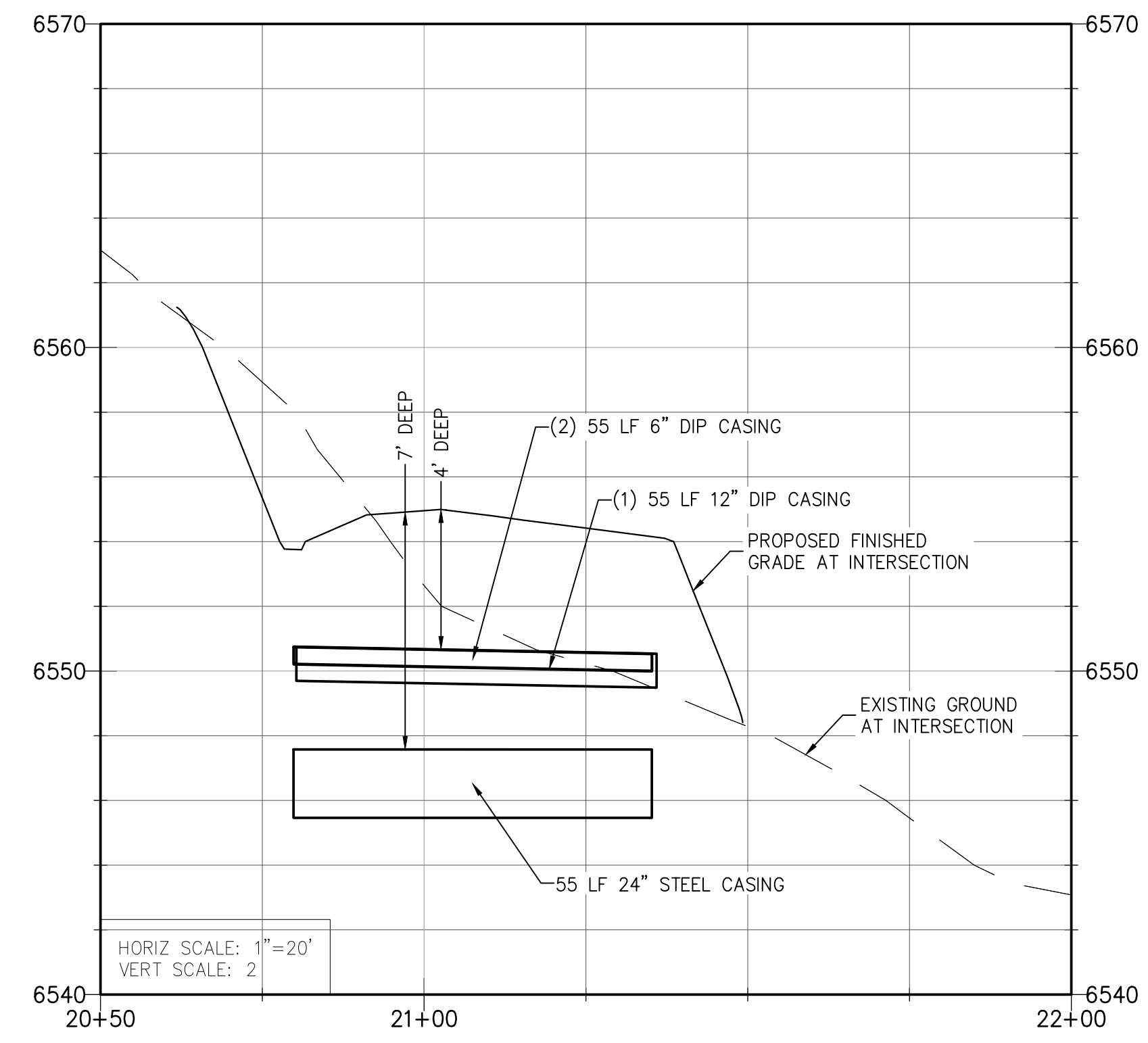
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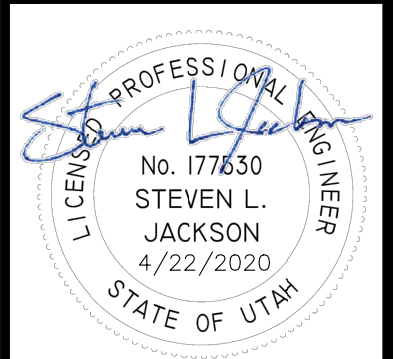
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JORDANELLE PARKWAY - STA:187+00



DEER SPRINGS PHASE 1  
OFF-SITE WATER LINE - NORTH END AND CASINGS  
TOWN OF HIDEOUT, UTAH



NO.	DATE	REVISION	BY

PROJECT NO.: 18,062,105	DATE: 4/22/2020
DRAWN BY: JAN	CHECKED BY: SJ
PROJECT MANAGER: S. JACKSON	

OFF-SITE WATER LINE - NORTH  
END AND CASINGS

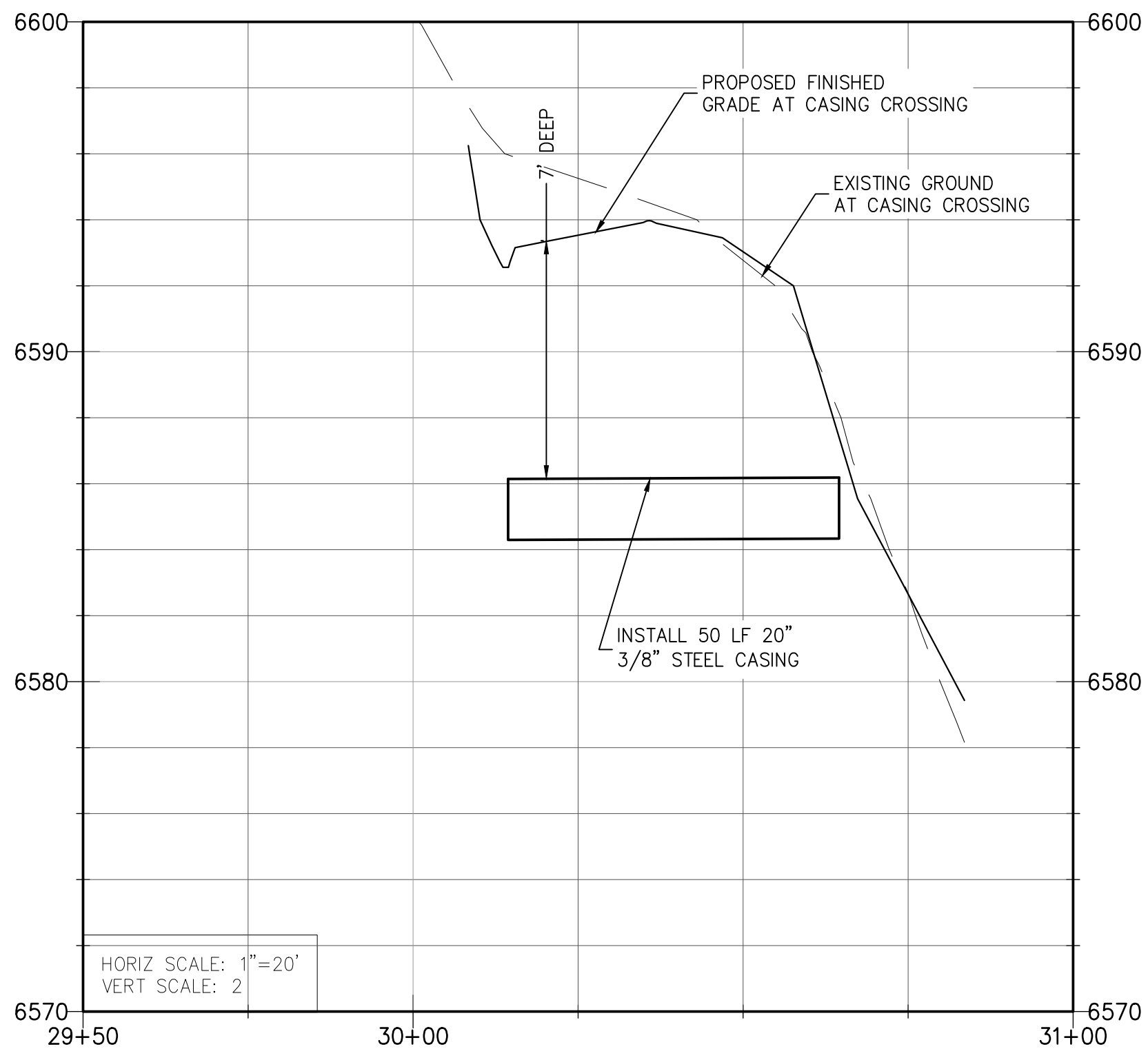
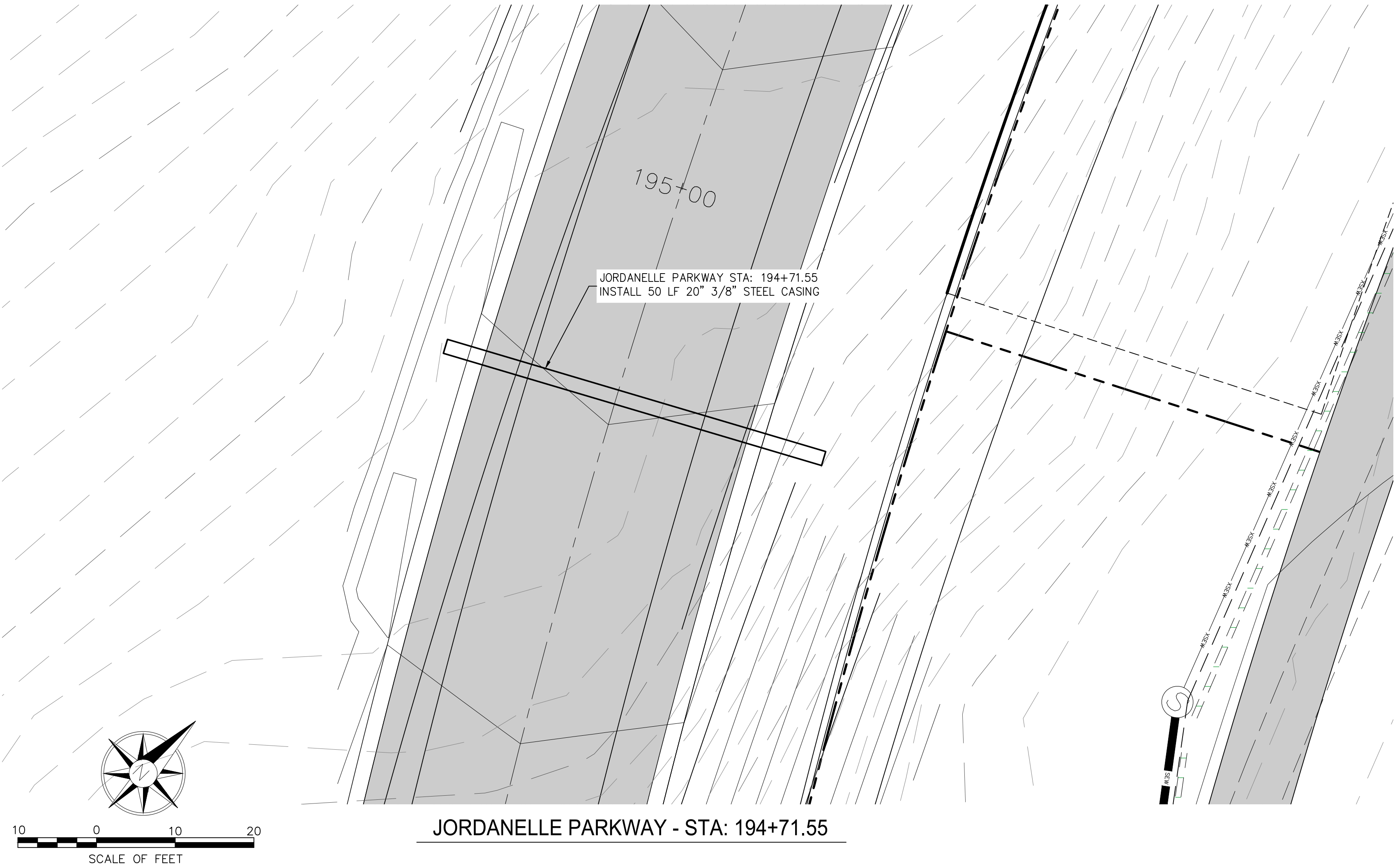
JACKSON ENGINEERING  
3376 STONEHILL LANE  
COTTONWOOD HEIGHTS UTAH 84121  
PHONE (801) 558-5293

FOR:  
OWNER:  
DEER SPRINGS  
2285 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

CONTACT:  
NATE BROCKBANK  
(801) 706-5557

FOR CONSTRUCTION - 4/22/2020

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JACKSON ENGINEERING

3376 STONEHILL LANE

COTTONWOOD HEIGHTS UTAH 84121

PHONE (801) 558-5293

FOR:  
OWNER:  
DEER SPRINGS  
2285 EAST MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

CONTACT:  
NATE BROCKBANK  
(801) 706-5557

DEER SPRINGS PHASE 1

OFF-SITE NORTH END CASINGS

TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020

PROFESSIONAL

ENGINEER

STATE OF UTAH

4/22/2020

JACKSON

STEVEN L.

No. 177630

NO.	DATE	REVISION	BY

PROJECT NO.: 18,062,105

DATE: 4/22/2020

DRAWN BY: JAN

CHECKED BY: SJ

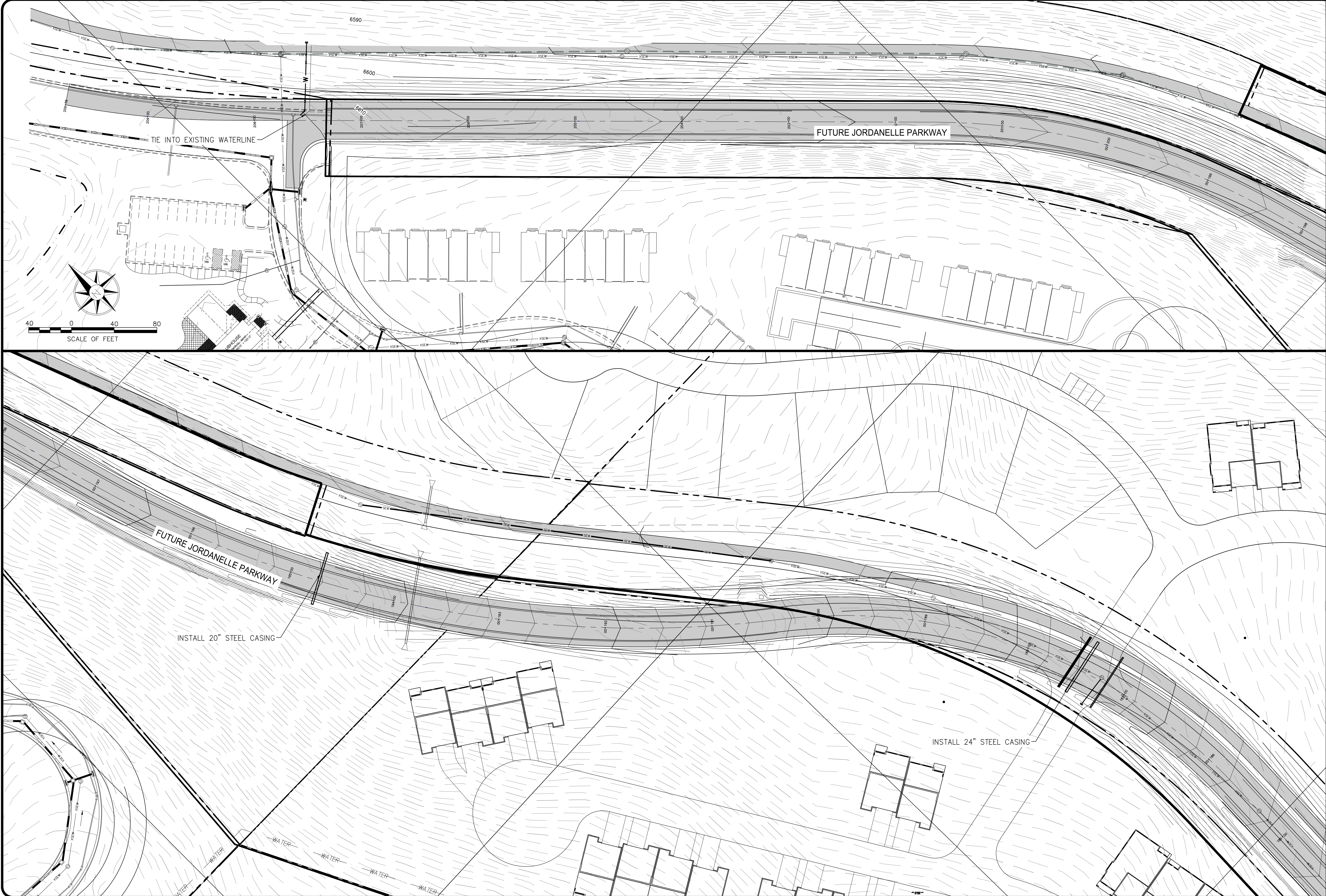
PROJECT MANAGER:  
S. JACKSON

OFF-SITE WATER LINE - NORTH  
END AND CASINGS

PP1.5



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**JACKSON ENGINEERING**  
3376 STONEHILL LANE  
COTTONWOOD HEIGHTS UTAH 84121  
PHONE (801) 558-5293

FOR:  
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DEER SPRINGS PHASE 1  
OFF-SITE WATERLINE PLAN  
TOWN OF HIDEOUT, UTAH

FOR CONSTRUCTION - 4/22/2020

PROFESSIONAL  
ENGINEER  
No. 177630  
STEVEN L.  
JACKSON  
4/22/2020  
STATE OF UTAH

NO.	DATE	REVISION	BY

PROJECT NO.: 18,062,105	DATE: 4/22/2020
DRAWN BY: AN	CHECKED BY: SJ
PROJECT MANAGER: S. JACKSON	

OFF-SITE WATER LINE - NORTH  
END AND CASINGS  
**PP1.6**



**File Attachments for Item:**

3. Public Hearing - discussion and possible approval of Lakeview Estates preliminary application



**Memorandum**

**TO:** Mayor Philip J. Rubin  
10860 North Hideout Trail  
Heber City, UT 84036

**FROM:** T-O Engineers  
Ryan Taylor, P.E.  
Project Manager

**DATE:** April 22, 2020 **Updated May 13, 2020**

**SUBJECT:** Lakeview Estates Review of Concept Plan between Cycles

We have reviewed the attached concept maps for the revised plan for Lakeview Estates. The development is in the preliminary stage and has been presented before Planning Commission and was recommended for presentation before Town Council. Town Council requested that the agenda item remain open at the preliminary stage for the developer to continue work on reducing retaining wall size by choosing certain lots to limit the front setback. We are satisfied with the changes to the plan set with regards to retaining wall height reduction.

1. Ensure adequate offset from the existing gravel road to any structure. Structures such as the dog wash must meet the 20 foot front and rear setback requirements. **Condition of Approval. Will be verified at Final.**
2. Based on a recent site walk, we have identified several culverts under the existing gravel road managing drainage channels through the property in its current state. These drainages will need to be properly managed. **Condition of Approval. Will be verified at Final.**
3. The concept maps were presented to the Kent Cuillard, Director of Public Works and he is unsatisfied with the locations of the snow storage areas and general ability to plow the roadways at the center of the development (at the two hammer-heads). **Resolved with the new concept design.**
  - We are satisfied, however, with the ratio of surface area dedicated to snow storage to new roadway area.

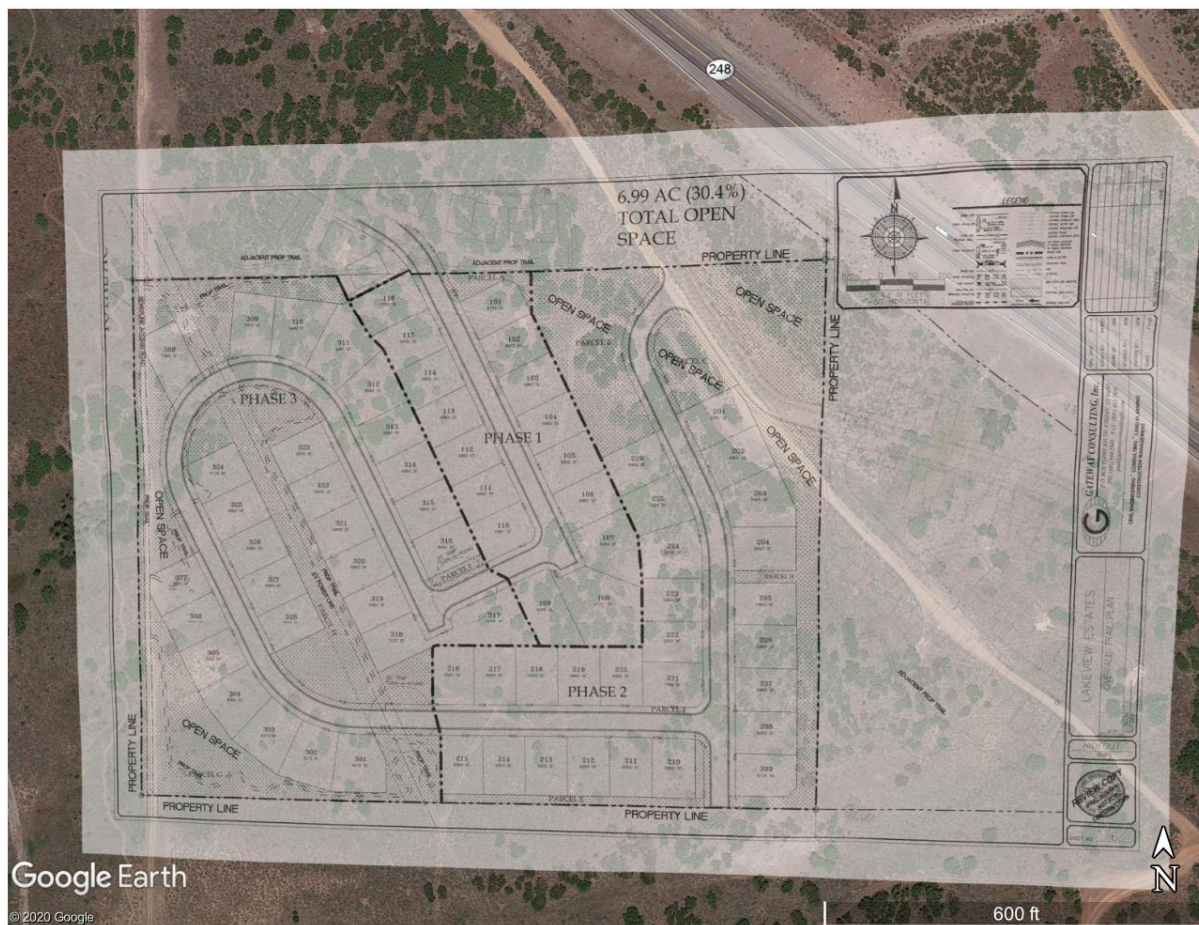


## Staff Report Town of Hideout Planning Commission

**Date:** March 12, 2020 **Updated May 13, 2020**  
**Applicant:** Holmes Homes Lakeview Estates LLC  
**Subject:** Preliminary Review – Lakeview Estates (Van den Akker Property)  
**Recommendation:** Preliminary Approval with conditions

### **BACKGROUND:**

The proposed Lakeview Estates subdivision is located along Longview Drive between the Deer Waters Phases II and III subdivisions. The Applicant has proposed developing 70 lots in 3 phases on approximately 23 acres. The subdivision is within the boundaries of the master development agreement and thus will be part of the Community Preservation Association (CPA).



*Approximate location of Lakeview Estates*

### **Roadway Cross Section**

The development involves the needed upgraded roadway width necessary for future Town of Hideout roads. The cross section consists of 26 feet of asphalt width, 2.5' Hideout standard modified curb and gutters, and a 10' ROW on each side of the road.

**The roadway cross section and 10' of dedicated ROW stays the same.**



### **Lot Sizes and Setbacks**

An improvement to lot setbacks is also included in this preliminary design. Lots will have alternated setbacks of 25 or 30 feet back from the back of the curb on each side of the road. This, combined with the roadway cross section improvements, will improve access and egress in the town to Public Works and first responders. Lot sizes range from 6,587 SF to 14,357 SF with an average of approximately 6,850 SF.

Modified to 7.5' side, 20' front, and 15' rear setbacks. This allows the walls to be much shorter. Newly curved roads will help with alternating setbacks. Straight-aways will have at least 3' offsets.

### **Public Street Access**

Each lot has adequate access to public streets. The Phasing has been improved to meet County Fire code for accessibility. Phase I connects to Star Gazer Circle in Deer Waters Phase I and will have a 55 foot temporary fire turn-around at the end. Phase II connects to Longview Drive between Deer Waters Phases II and III. Phase II will likewise have a 55 foot temporary fire turn-around at the end. Phase III consists of the remaining lots and connects Phases I and II and completes the necessary two accesses to the development.

We also recommend that the planning commission consider recommending/requiring a connection to Shoreline Phase II. The new plan allows for connection to the existing Upside Drive on Shoreline Phase II, connection to Star Gazer Circle, and an additional connection that should connect to the currently-under-review Shoreline Phase III. One or both of this and the Shoreline Phase III plan sets may need to change to make this connection happen.

### **Sewer Lift Station Improvements**

An existing lift station on Deer Waters Phase I that does not meet the Town's requirement will be removed as part of the Lakeview Estates development. The proposed lift station in Lakeview Estates will service Lakeview Estates, and all of the Deer Waters development. The lift station shown in existing, unapproved plans for Deer Waters Phase III will not be constructed. A full plan set for the Lakeview Estates lift station will need to be presented for review prior to final approval.

### **Snow Storage**

Snow storage will need to be shown on the Plat upon application for Final approval.

Still applicable. Public Works did not approve of the previous plan, but this new plan resolves those concerns.

### **Detention Basin, access, and drain swale**

Preliminary plans detail two detention basins, both near the SW corner of the property. At final approval review, this will be verified to be capable to handle any runoff coming from this and any that comes from the developments above it.

Down to one detention pond, but it is larger. Conditions for final approval still stand.

### **Wetlands**

An R4SBC (Riverine, Intermittent, Streambed, Seasonally Flooded) channel runs through the property. The applicant has stated that this drainage channel has been re-routed through Deer Waters. At Final, a letter will be required from a Wetlands Ecologist addressing whether or not the plans adequately manage this drainage channel.

Still applicable.

### **Overhead Power**

The site does not require relocation of the overhead power easement located on the West side of the property. However, this should be shown on the Plat for final approval.

Still applicable.

### **Outstanding Developer Balance**

Based on our understanding, the applicant holds no outstanding balance with the Town of Hideout. Town to confirm and reconcile prior to Planning Commission approval.

Still applicable.

### **Utility (Water and Sewer) Will-Serve Letters**

Utility Will-Serve letters from the Town of Hideout, JSSD, RMP and Dominion Energy will be necessary prior to Final approval.

Still applicable.



### **Preliminary Design Review Comments**

All comments pertinent to preliminary design have been corrected in the most recent plan set submitted for the second review cycle. Final approval requires that the applicant has met our conditions for approval.

### **RECOMMENDATION:**

Staff recommends that the commission review the proposed development and whether any prior concept or development agreement conditions have been satisfied. If agreed, we recommend preliminary approval of the Lakeview Estates (Van den Akker property) Subdivision with the following conditions:

- Still applicable. 1. *The Final Plan set be submitted for a more thorough and detailed review of all infrastructure plans.*
- Still applicable. 2. *A letter be submitted at Final from a Wetlands Ecologist addressing whether or not the plans adequately manage the drainage channel mapped through this property.*
- Still applicable. 3. *Will-serve letters from all utility providers be presented at Final.*
- Still applicable. 4. *A full set of plans be presented and approved for the sewer lift station that is to service Lakeview Estates and all of Deer Waters.*
- Still applicable. 5. *A plat be presented and approved for each of the 3 phases of development showing all necessary requirements including snow storage and proper setbacks, PUEs and any other pertinent notes or deed restrictions.*
- Still applicable. 6. *Further review or modifications may be necessary on the geotechnical report at final.*
- Still applicable. 7. *Plans and details from a structural engineer be presented for final approval should the site have any proposed concrete retaining walls.*
- Still applicable. 8. *A landscaping plan be presented for final approval.*
- Still applicable. 9. *A SWPPP permit be obtained and NOI filed with Hideout prior to construction.*

### **ATTACHMENTS:**

#### **SITE DEVELOPMENT CONSTRUCTION PLANS, LAKEVIEW ESTATES, PRELIMINARY**

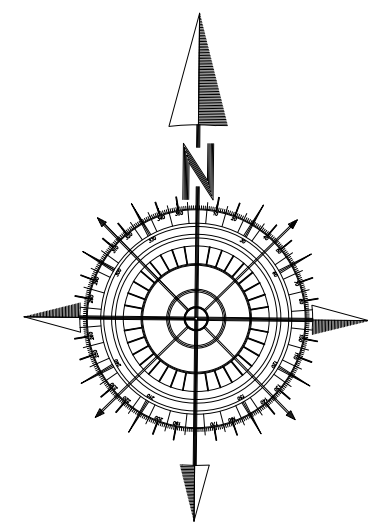
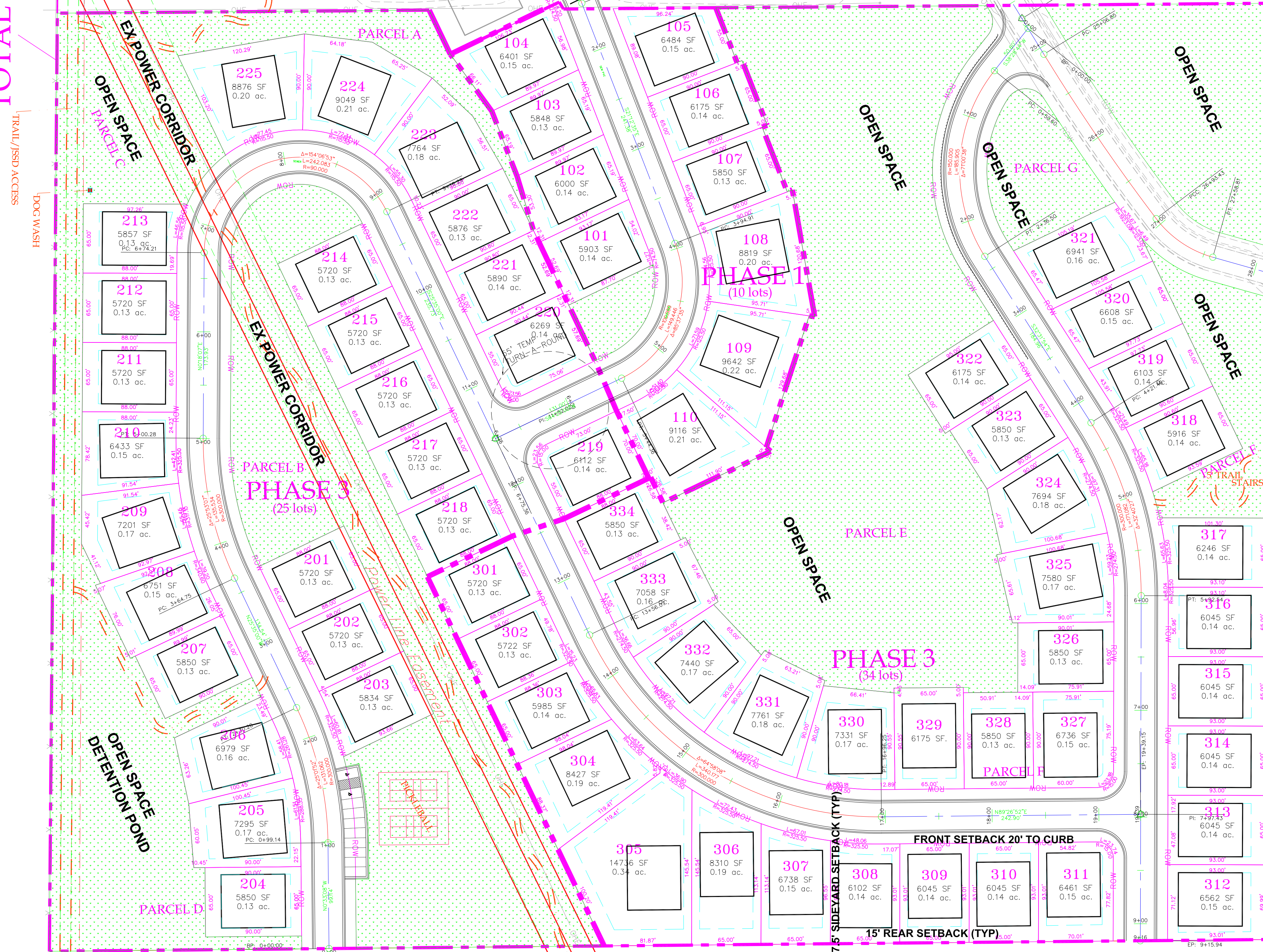
The new Concept design is attached to this document first, and the original full preliminary plan set is included as well. The applicant must present a fully-detailed plan set incorporating the new concept design upon applying for final approval.



# DEER WATERS RESORT UNDER CONSTRUCTION

8.04 AC (35.0%)  
TOTAL OPEN SPACE

22.95 PROJECT  
TOTAL AC



A number line with labels 60, 0, 60, and 120. The segment from 0 to 60 is shaded gray, and the segment from 60 to 120 is white.

SCALE IN FEET  
HORIZONTAL 24"x36"

**NOTE:**  
Utilities shown are from field observations or have been plotted from available maps. No underground explorations have been performed.

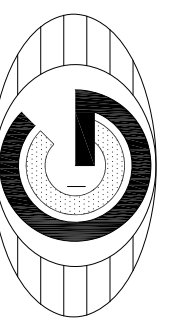
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ORIG. DATE:	9-1-14
SURVEY BY:	
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'

**GATEWAY CONSULTING, inc.**  
P.O. BOX 951005 SOUTH JORDAN UT 84095

U. BOA 931003 SOUTH JORDAN, UT 84099  
PH: (801) 694-5848 FAX: (801) 432-7050  
*paul@gatewayconsultingllc.com*

**CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT**



# VANDENACKER HIDEOUT CANYON

CONCEPT SITE PLAN

PROJECT NUMBER	PLOT DATE	DRAWING FILE
----------------	-----------	--------------

HIDEOUT  
CITY

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET NO. 1/3



# DEER WATERS RESORT UNDER CONSTRUCTION

## WATERLINE TIE IN

22.95 PROJECT  
TOTAL AC

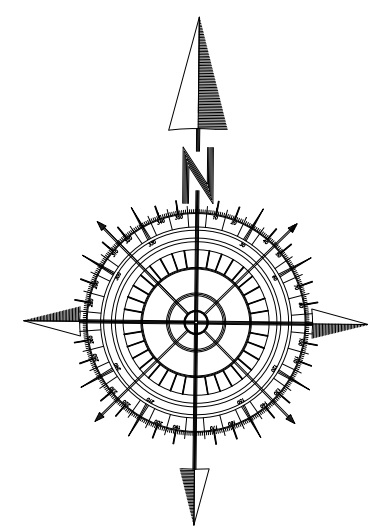
**REROUTE OFFSITE SEWER**

**DEER WATERS RESORT NOT BUILT YET**

**DETENTION  
POND**

# WATERLINE AND SEWER TIE IN

— (32) REMOVE X-ARM AND CONDUCTOR



SCALE IN FEET

**NOTE:**  
Utilities shown are from field observations or have been plotted from available maps. No underground explorations have been performed.

## LEGEND

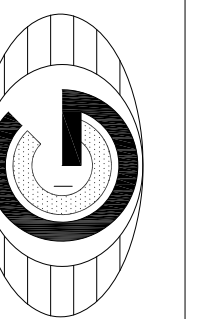
SEWER LINE		EXISTING SEWER LINE
SEWER APPARATUS		EXISTING STORM LINE
		EXISTING WATER LINE
		EXISTING IRRIGATION LINE
		EXISTING CATCHER (75')
		EXISTING EASE OF ADJUST
STORM LINE		EXISTING OVERHEAD POWER
STORM APPARATUS		EXISTING FINISH CONTOUR
		PROPOSED FINISH CONTOUR
		PHASE LINE
		CURB & GUTTER
		PROPOSED RAIL
		PROPOSED FENCE
		SETBACK
WATER LINE		30% SLOPE AND GREATER
WATER APPARATUS		PROPOSED OPEN SPACE
FIRE HYDRANT		IRRIGATION APPARATUS
IRRIGATION LINE		IRRIGATION EASE OF ADJUST
IRRIGATION APPARATUS		IRRIGATION DRAINAGE DIRECTION

[illegible]

ORIG. DATE:	9-1-14
SURVEY BY:	
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'

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P.O. BOX 951005 SOUTH JORDAN, UT 84095  
BY (901) 504-5040 FAX (901) 432-7050

PH: (801) 694-5848 FAX: (801) 432-7050  
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CONSTRUCTION MANAGEMENT

## CONSTRUCTION MANAGEMENT

# VANDENACKER HIDEOUT CANYON

## CONCEPT UTILITY PLAN

# WIDEOUT

---

## CITY

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET NO.

2/3

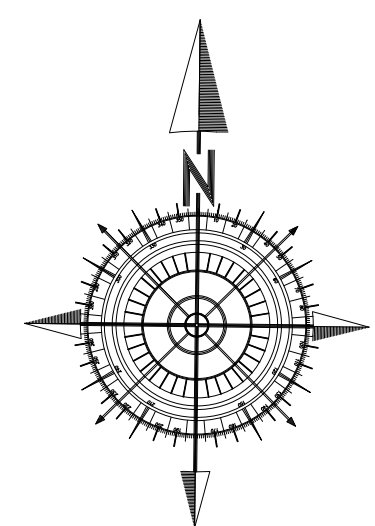


# CONCEPT SITE PLAN

## 5-10-20

22.95 PROJECT  
TOTAL AC

TRAIL/JSSD ACCESS



SCALE IN FEET  
HORIZONTAL 24"x36'

**NOTE:**  
Utilities shown are from field observations or have been plotted from available maps. No underground explorations have been performed.

# LEGEND

SEWER LINE		EXISTING SEWER LINE	
SEWER APPARATUS		EXISTING STORM LINE	
		EXISTING WATER LINE	
		EXISTING IRRIGATION LINE	
		EXISTING CONTOURS (20')	
		EXISTING EDGE OF ASPHALT	
STORM LINE		EXISTING FENCE	
		EXISTING OVERHEAD POWER	
STORM APPARATUS		10" FRESH CONTROLLER	
		2" FRESH CONTROLLER	
		10" FINISH CONTROLLER	
		PHASE LINE	
		CLUB & GUTTER	
		PROPOSED TRAIL	
WATER LINE		PAVE	
WATER APPARATUS		SETBACK	
FIRE HYDRANT		30' SETBACK AND GREATER	
IRRIGATION LINE		PROPOSED OPEN SPACE	
IRRIGATION APPARATUS			
DRAINAGE AREA (DRAINAGE BASIN)			

# DEER WATERS RESORT UNDER CONSTRUCTION


# VANDENACKER HIDEOUT CANYON

HIDEOUT  
CITY

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET NO. 3/3

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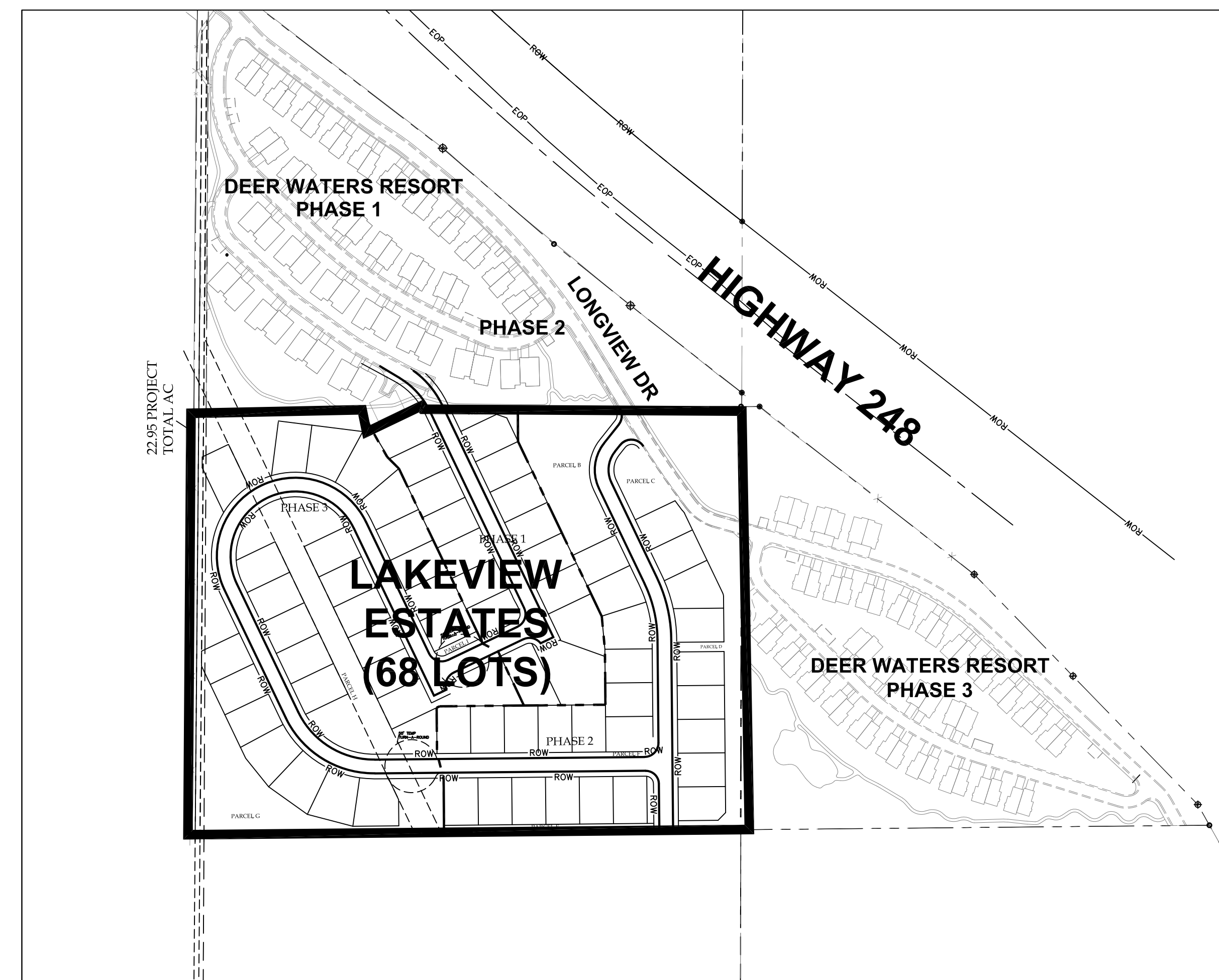
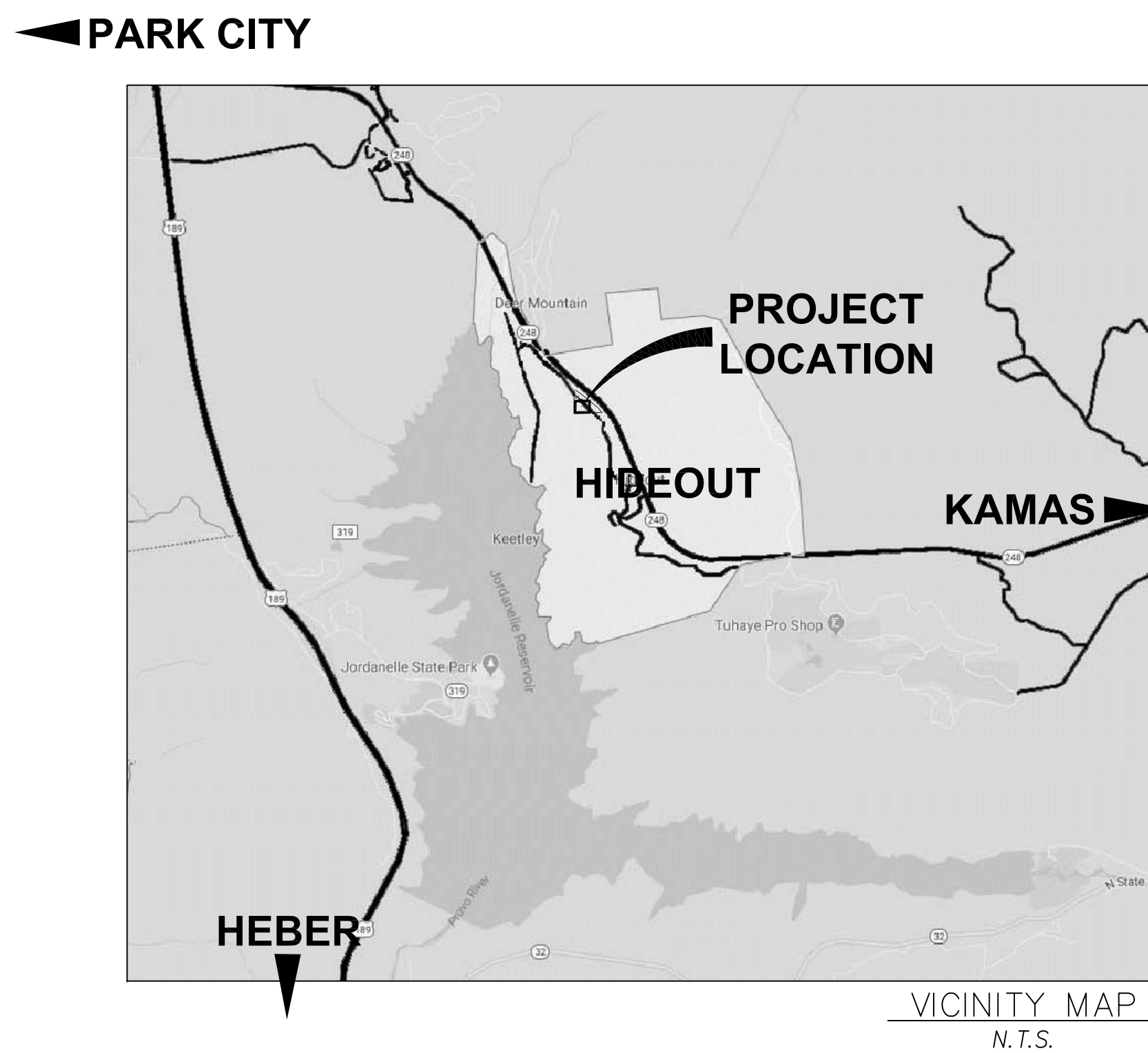
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[illegible]



DEVELOPMENT IS IN THE NORTHWEST QUARTER OF  
SECTION 17, TOWNSHIP 2 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN

# PRELIMINARY



VICINITY MAP  
N.T.S.

FEBRUARY 29, 2020

1	TITLE SHEET
1A	PROJECT NOTES
N/A	PLATS
2	EXISTING SITE AND DEMO PLAN
3	OVERALL PROJECT SITE PLAN
4	CONSTRAINTS and SETBACKS MAP
5	DRAINAGE MAP
6	TRAIL PLAN
7	RETAINING WALL PLAN

U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	PROPOSED DRY UTILITIES

SWPPP	STORM WATER POLLUTION PROTECTION PLAN
ER1-ER2	EROSION CONTROL DETAILS

DETAIL SHEETS	
D1	ROADWAY DETAILS
D2	WATER LINE DETAILS
D3	SANITARY SEWER DETAILS
D4	STORM DRAINAGE DETAILS
D5-D6	DETENTION POND DETAILS

[illegible]

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[illegible]

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ORIG. DATE:	7-1-19	NO.	DESCRIPTION
SURVEY BY:	HAWKES	DATE	
DRAWN BY:	GPW		
DESIGNED BY:	GPW		
CHECKED BY:	GPW		
SCALE:	1"=50'		

<p style="font-size: 2em; margin: 0;">LAKEVIEW ESTATES</p> <p style="font-size: 1.5em; margin: 0;">EXISTING CONDITIONS DEMOLITION PLAN</p>	<p style="margin: 0;">2-7-20 PLOT DATE</p>
--	--

<p style="margin: 0; font-size: 1.2em;">HIDEOUT</p> <p style="margin: 0; font-size: 0.8em;">TOWN</p>
--


---

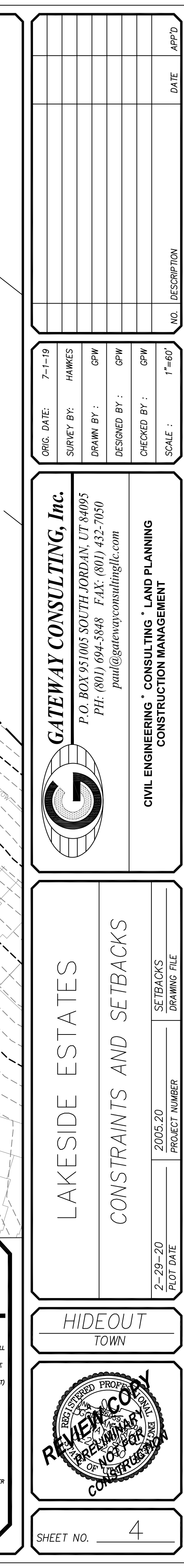
  

SHEET NO. _____	2
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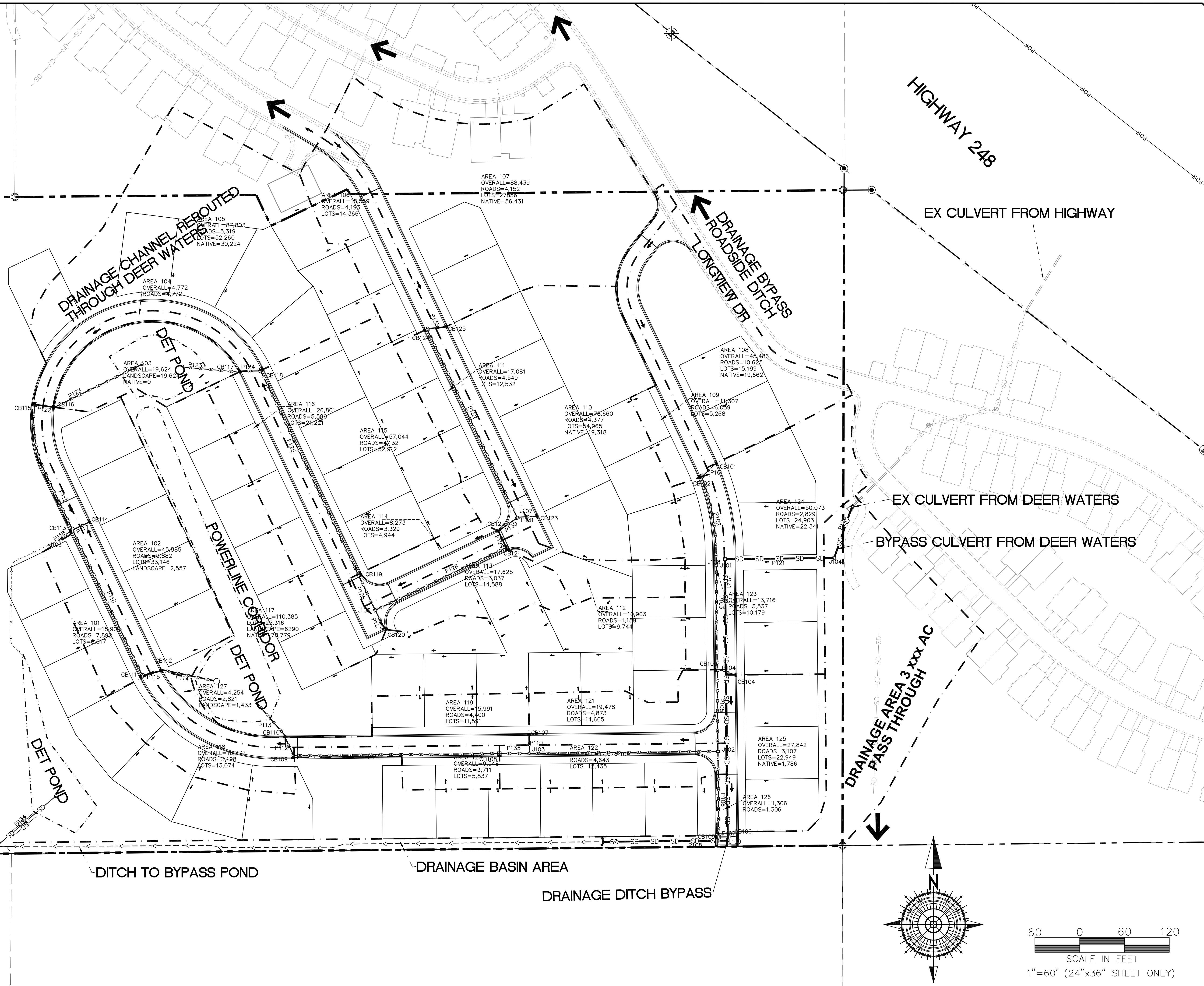




[illegible]



22.95 PROJECT  
TOTAL AC



LEGEND

- DRAINAGE AREA BOUNDARY
- STORM LINE
- EXISTING STORM LINE
- STORM APPARATUS
- COMBO SD BOX
- CB SD BOX
- CDB SD BOX

TO JORDANELLE

DITCH TO BYPASS POND

DRAINAGE BASIN AREA

DRAINAGE DITCH BYPASS

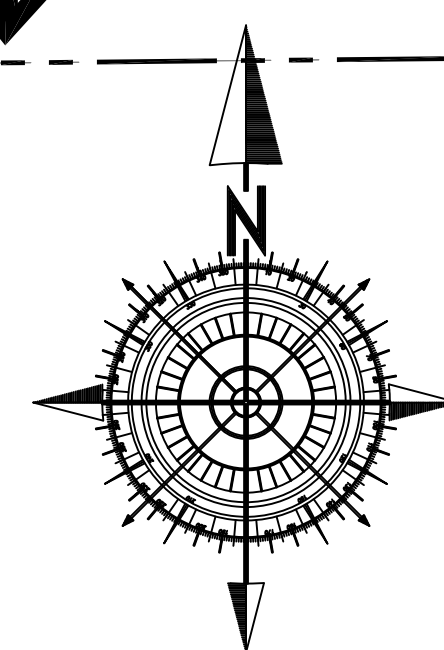
HIGHWAY 248

EX CULVERT FROM HIGHWAY

EX CULVERT FROM DEER WATERS

BYPASS CULVERT FROM DEER WATERS

DRAINAGE AREA 3 xxx AC  
PASS THROUGH



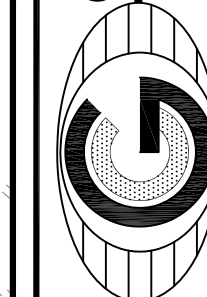
60 0 60 120

SCALE IN FEET

1"=60' (24"x36" SHEET ONLY)

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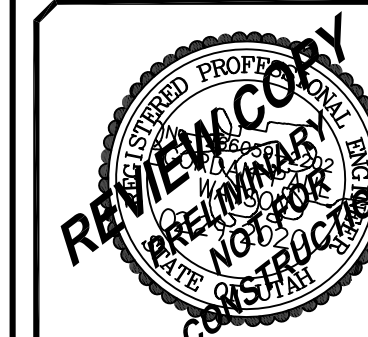
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CONSTRUCTION MANAGEMENT

LAKEVIEW ESTATES

DRAINAGE

PRINT DATE: 2-29-20

HIDEOUT  
TOWN

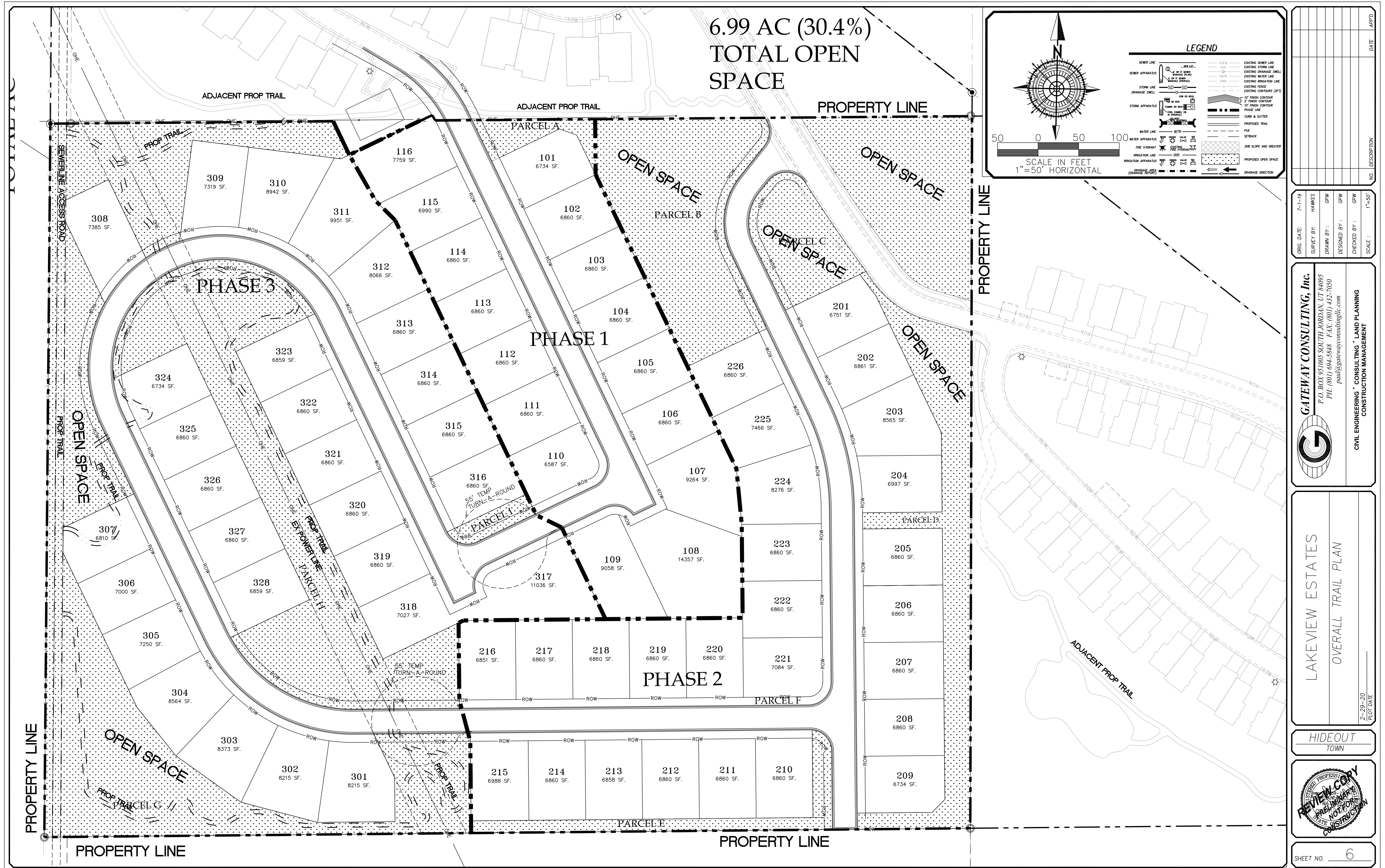


SHEET NO. 5

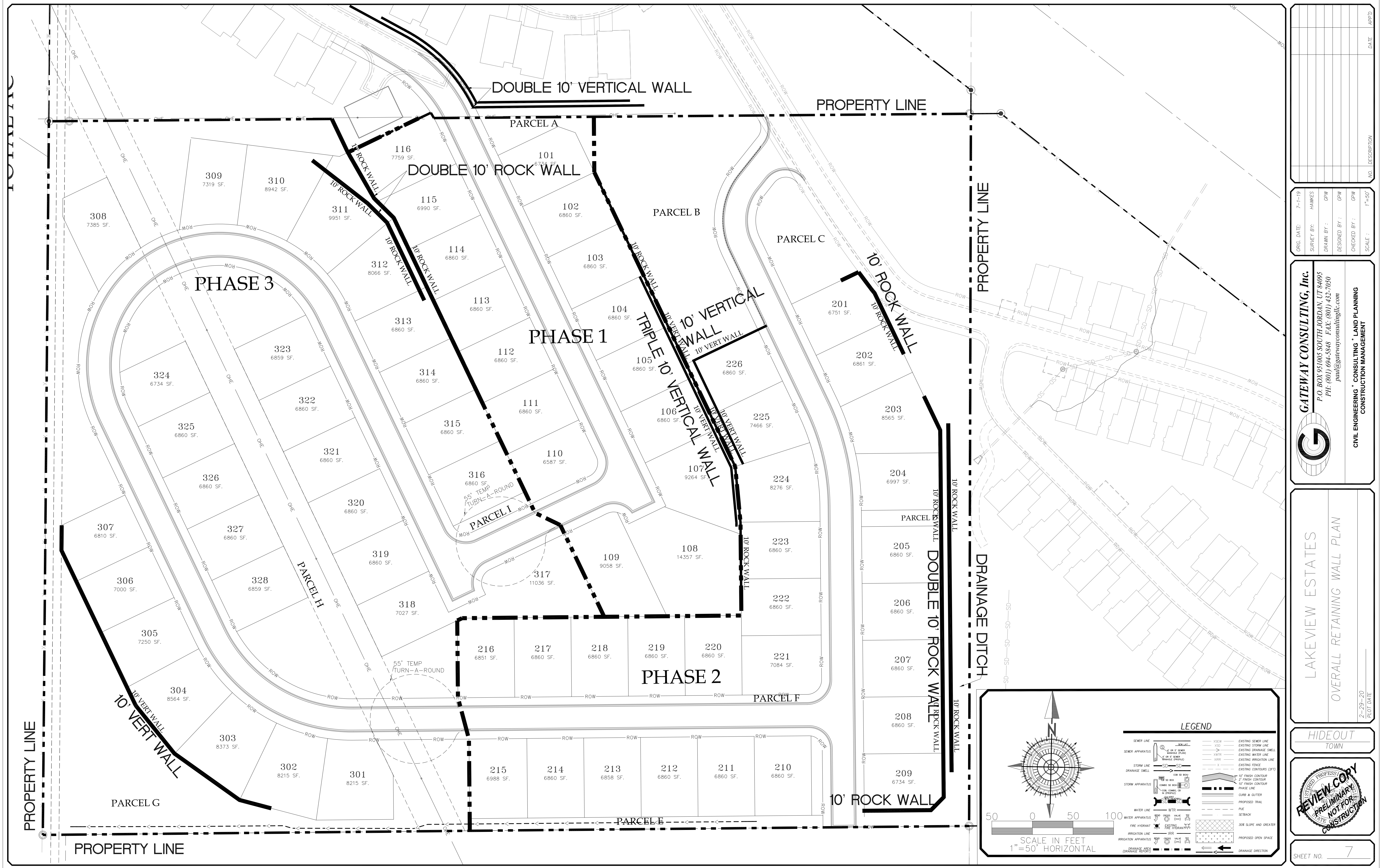
NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	7-1-19
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=60'









ORIG. DATE: 7-1-19

SURVEY BY: HAWKES

DRAWN BY: GFW

DESIGNED BY: GFW

CHECKED BY: GFW

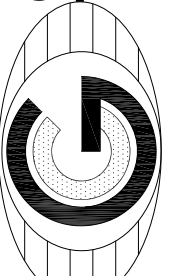
SCALE: 1"=50'

NO. DESCRIPTION

DATE

APPROVED

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LAKEVIEW ESTATES  
OVERALL RETAINING WALL PLAN

2-29-20  
PLOT DATE

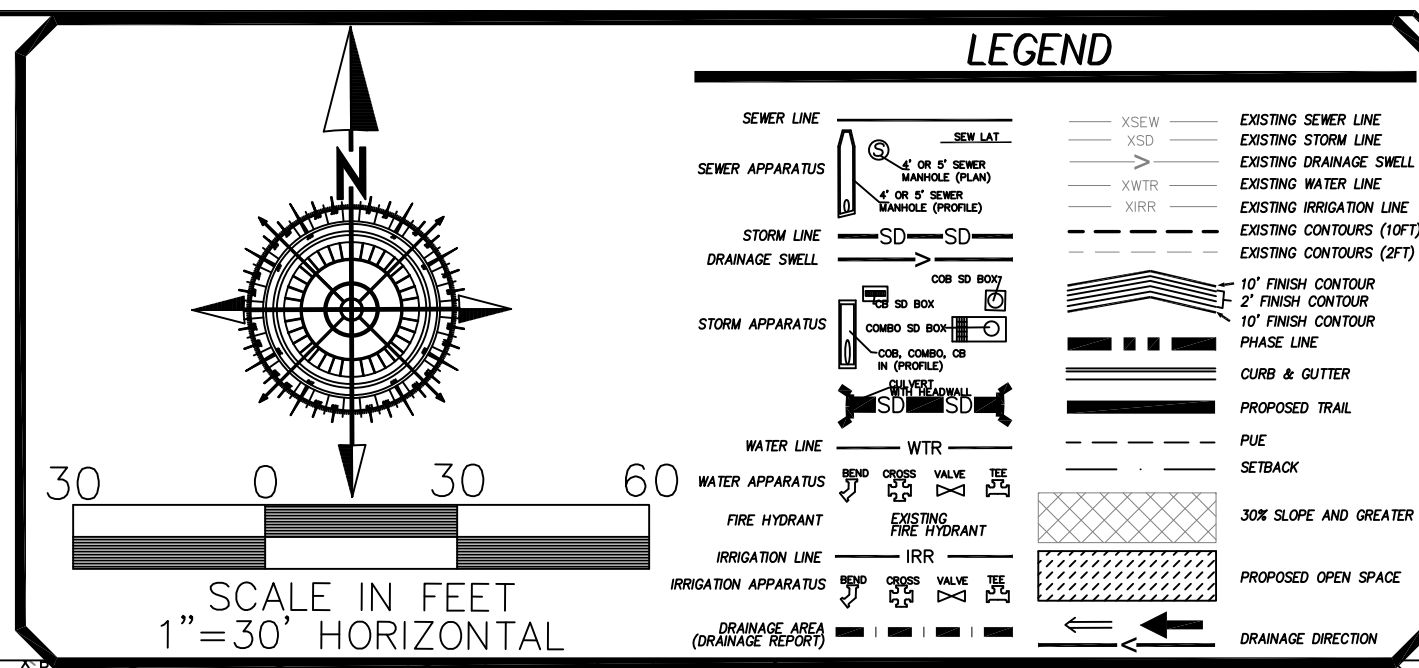
HYDROLOGIST  
REGISTERED PROFESSIONAL  
PRELIMINARY  
NOT FOR CONSTRUCTION

REVIEW COPY

SHEET NO. 7



# TOTAL AC



SHEET NO. G1

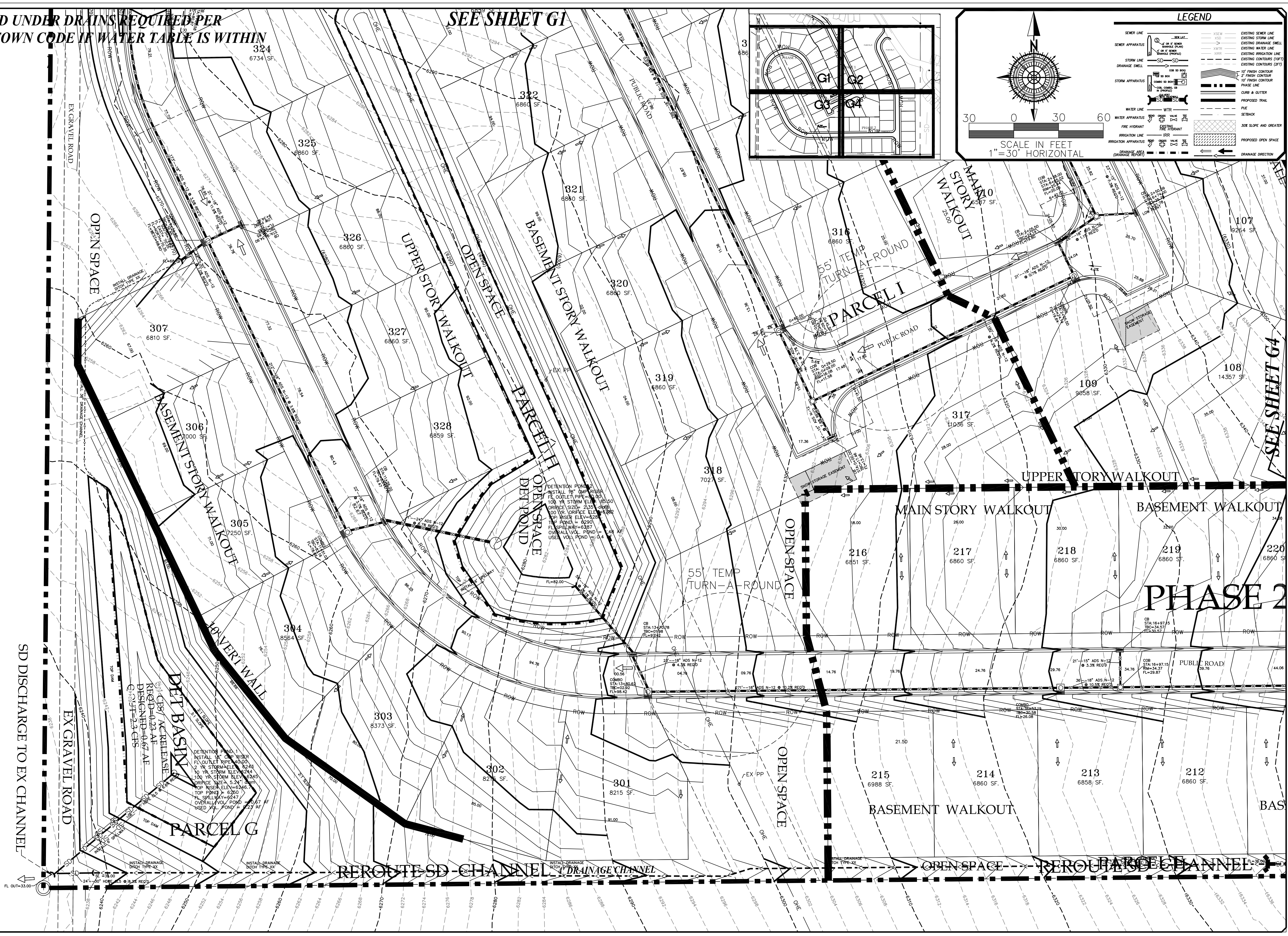
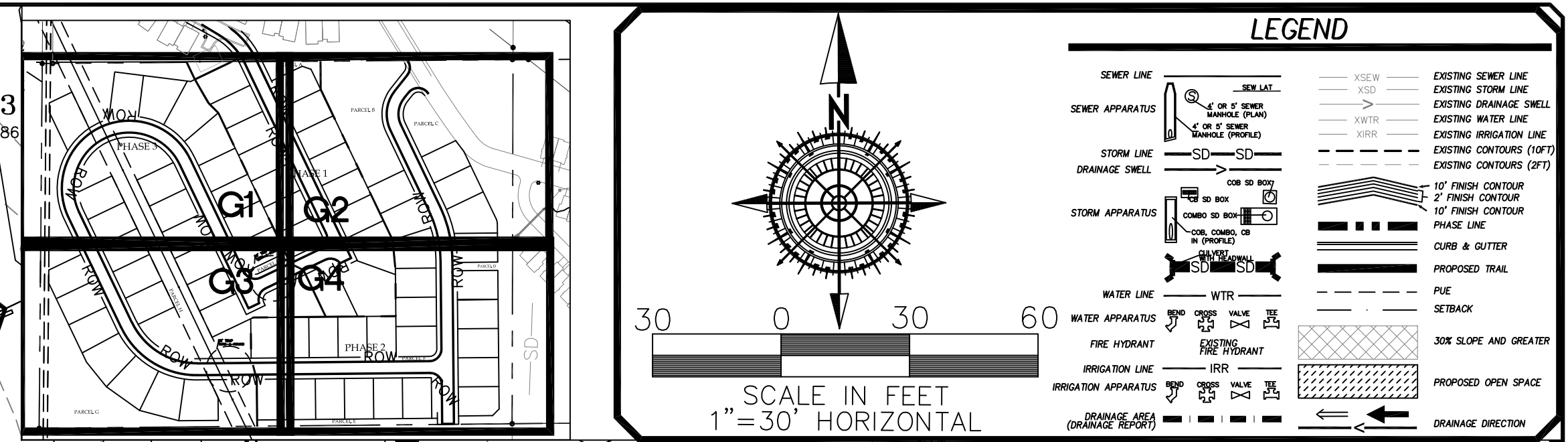







**NOTE: LAND UNDER DRAINS REQUIRED PER  
HIDEOUT TOWN CODE IF WATER TABLE IS W  
7 FT OF FF.**

**SEE SHEET G1**

[illegible]

ORIG DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"=30'



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LAKEVIEW ESTATES

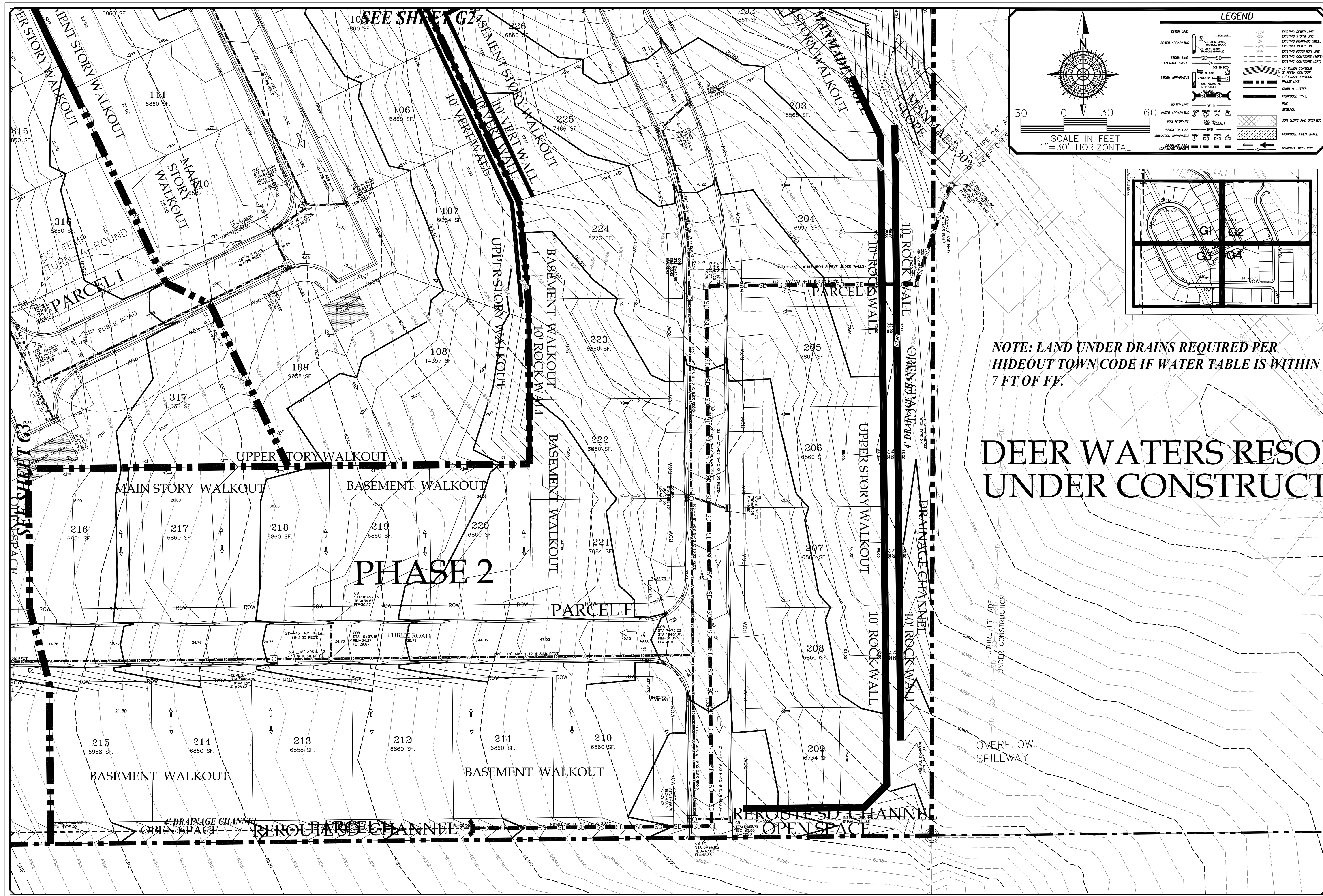
GRADING 1"=30'

## HIDEOUT TOWN




SHEET NO. G3





**NOTE: LAND UNDER DRAINS REQUIRED PER  
HIDEOUT TOWN CODE IF WATER TABLE IS WITHIN  
7 FT OF FF.**

# DEER WATERS RESO UNDER CONSTRUCT

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<p><b>CIVIL ENGINEERING * CONSULTING * LAND PLANNING</b></p> <p><b>CONSTRUCTION MANAGEMENT</b></p>	<p>NO. _____ DESCRIPTION _____</p> <p>DATE _____ APPD _____</p>

## LAKEVIEW ESTATES


---

GRADING 1"=30'

2--29--20


PLOT DATE:

HIDEOUT TOWN



REVIEW COPY

SHEET NO. G4



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[psd@gatewayconsultingllc.com](mailto:psd@gatewayconsultingllc.com)

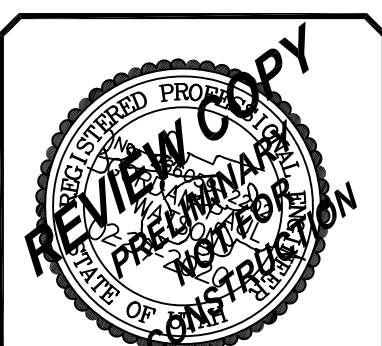
**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT**

LAKEVIEW ESTATES

GRADING 1" = 30'

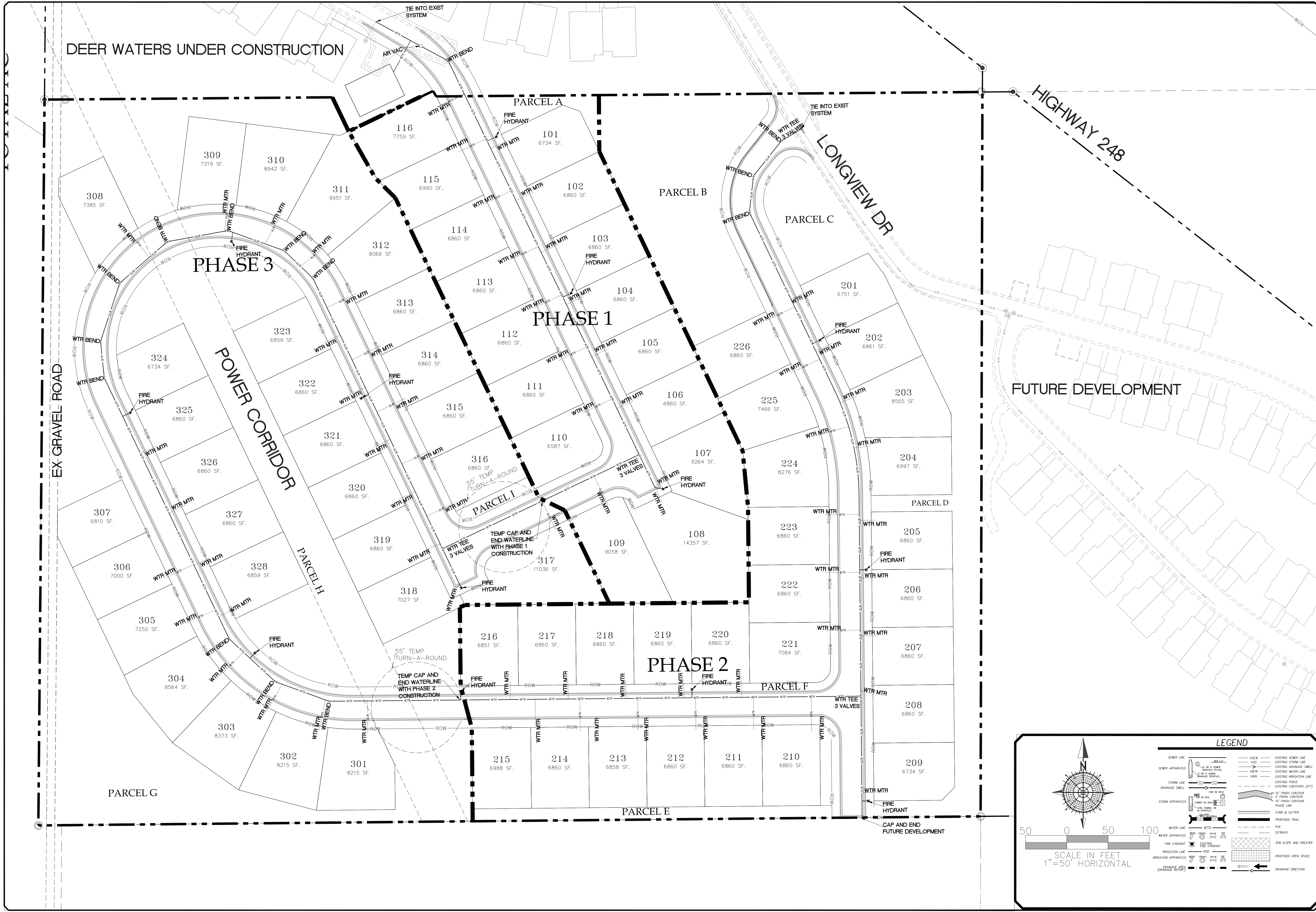
2-29-20  
PLOT DATE: \_\_\_\_\_

## HIDEOUT TOWN



SHEET NO. G4





NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	7-1-19
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=50'

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CONSTRUCTION MANAGEMENT

**LAKEVIEW ESTATES**

OVERALL WATER UTILITY SHEET

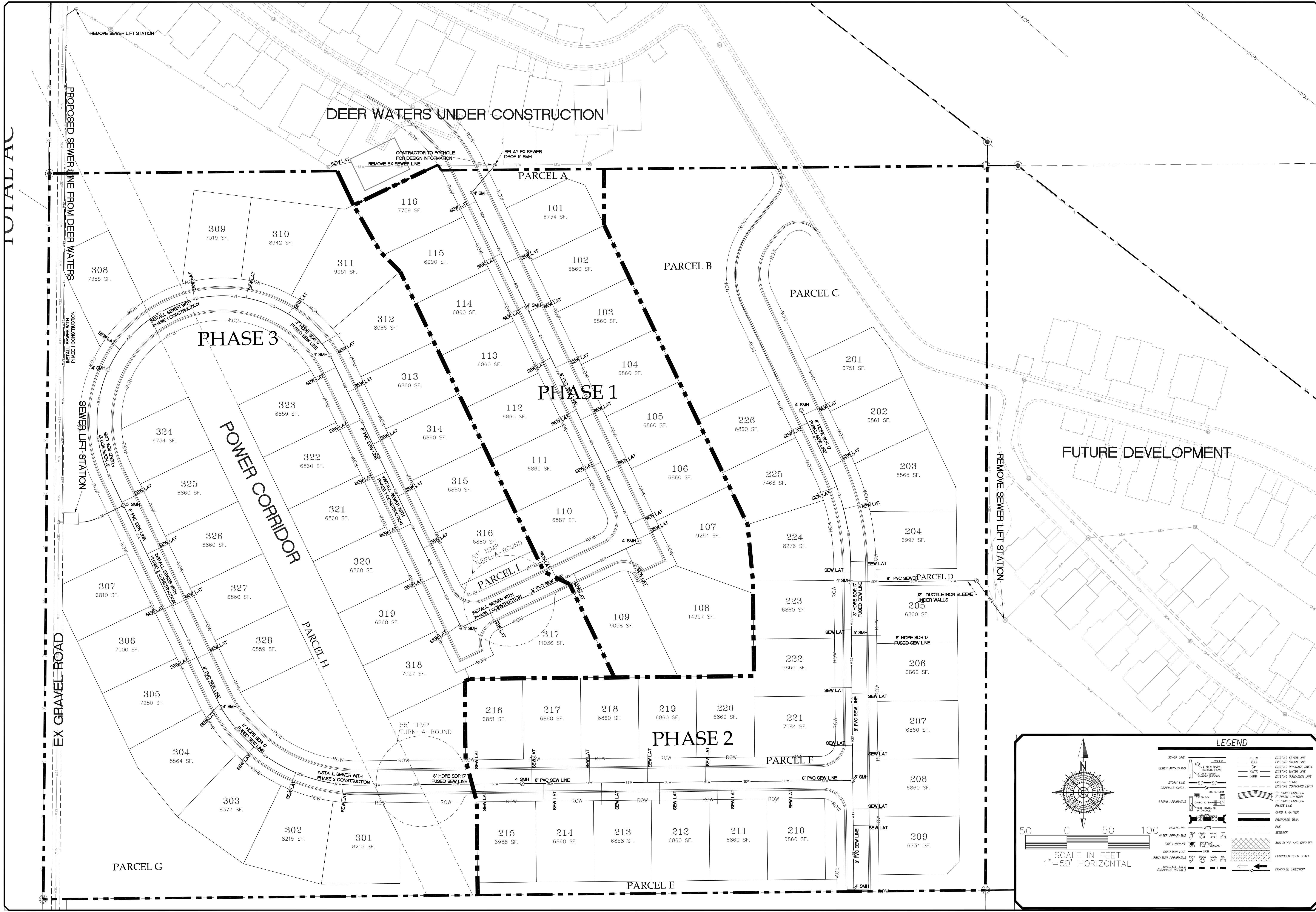
PRINT DATE: 2-29-20

**HIDEOUT**  
TOWN

**REVIEW COPY**  
PRELIMINARY  
NOT FOR CONSTRUCTION

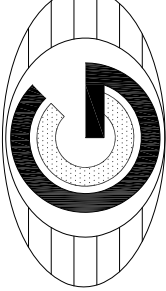
SHEET NO. **U1**





NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	7-1-19
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=50'



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**IROQUOIS PH 5 LOT 7**

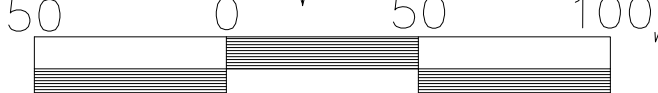
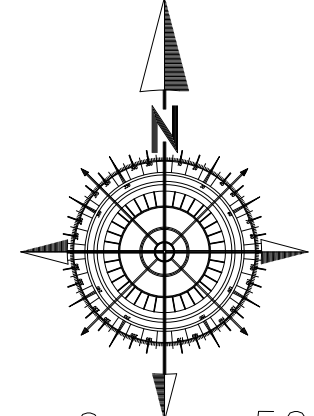
OVERALL SEWER UTILITY SHEET

PRINT DATE: 2-29-20

HIDEOUT TOWN



SHEET NO. **U2**

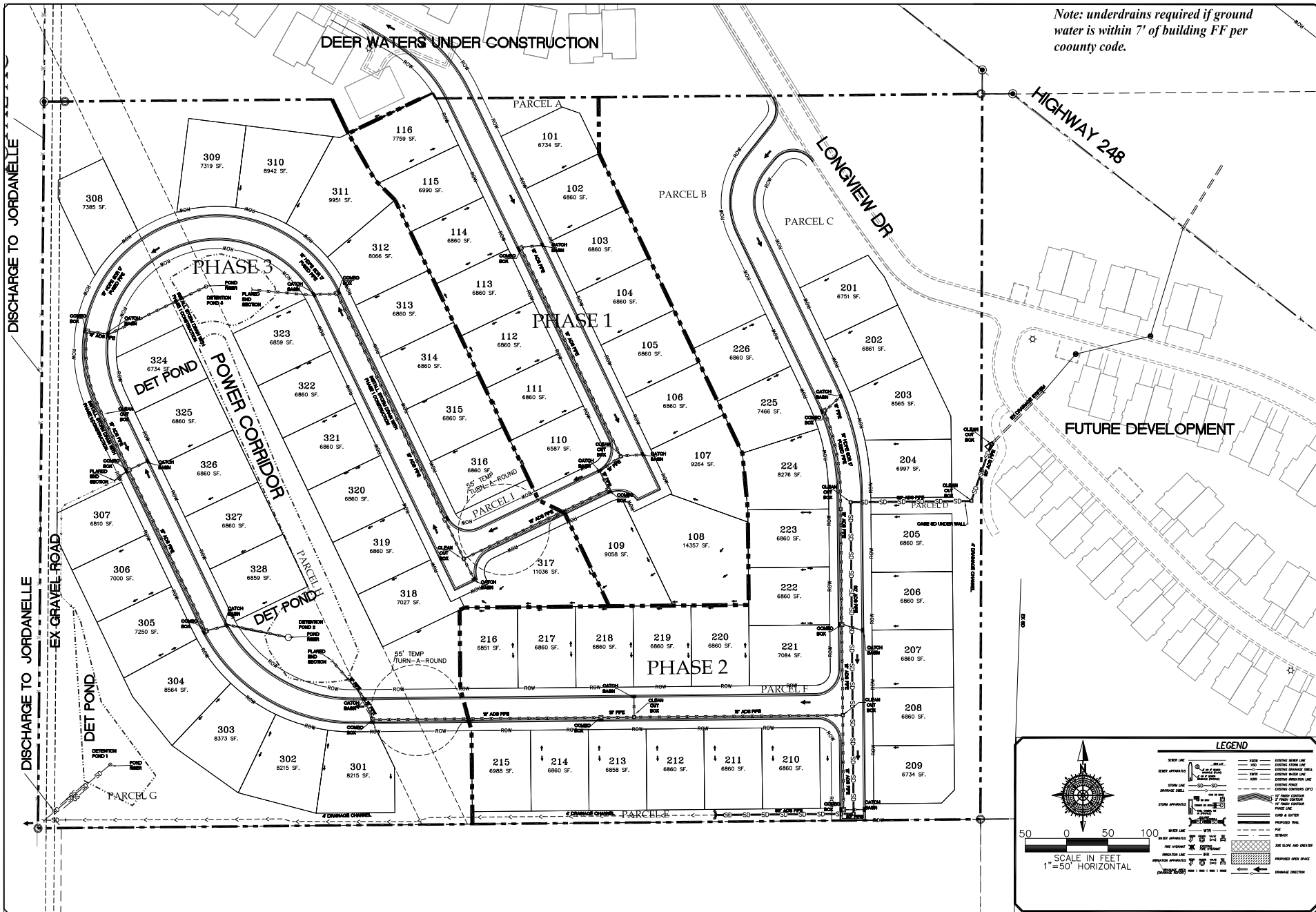


SCALE IN FEET  
1"=50' HORIZONTAL

**LEGEND**

SEWER LINE	SEW LAT	XSEW	EXISTING SEWER LINE
SEWER APPARATUS	XSD	XSD	EXISTING STORM LINE
STORM LINE	XST	XST	EXISTING DRAINAGE SWELL
STORM APPARATUS	XST	XST	EXISTING WATER LINE
			EXISTING IRRIGATION LINE
			EXISTING FENCE
			EXISTING CONTOURS (2FT)
			10' FINISH CONTOUR
			2' FINISH CONTOUR
			10' FINISH CONTOUR
			PHASE LINE
			CRIP & GUTTER
			PROPOSED TRAIL
			PUE
			SEBACK
			SITE SLOPE AND GREATER
			PROPOSED OPEN SPACE
			DRAINAGE DIRECTION





Note: underdrains required if ground water is within 7' of building FF per county code.

DATE: 7-1-18		SCALE: 1"=50'	
DRAWN BY: GPM		CHECKED BY: GPM	
DESIGNED BY: GPM		DATE: 7-1-18	
PROJECT: LAKEVIEW ESTATES			
SHEET NO. U3			

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**LAKEVIEW ESTATES**  
**OVERALL STORM SEWER UTILITY SHEET**  
PRINT DATE: 2-29-20

**HIDEOUT TOWN**

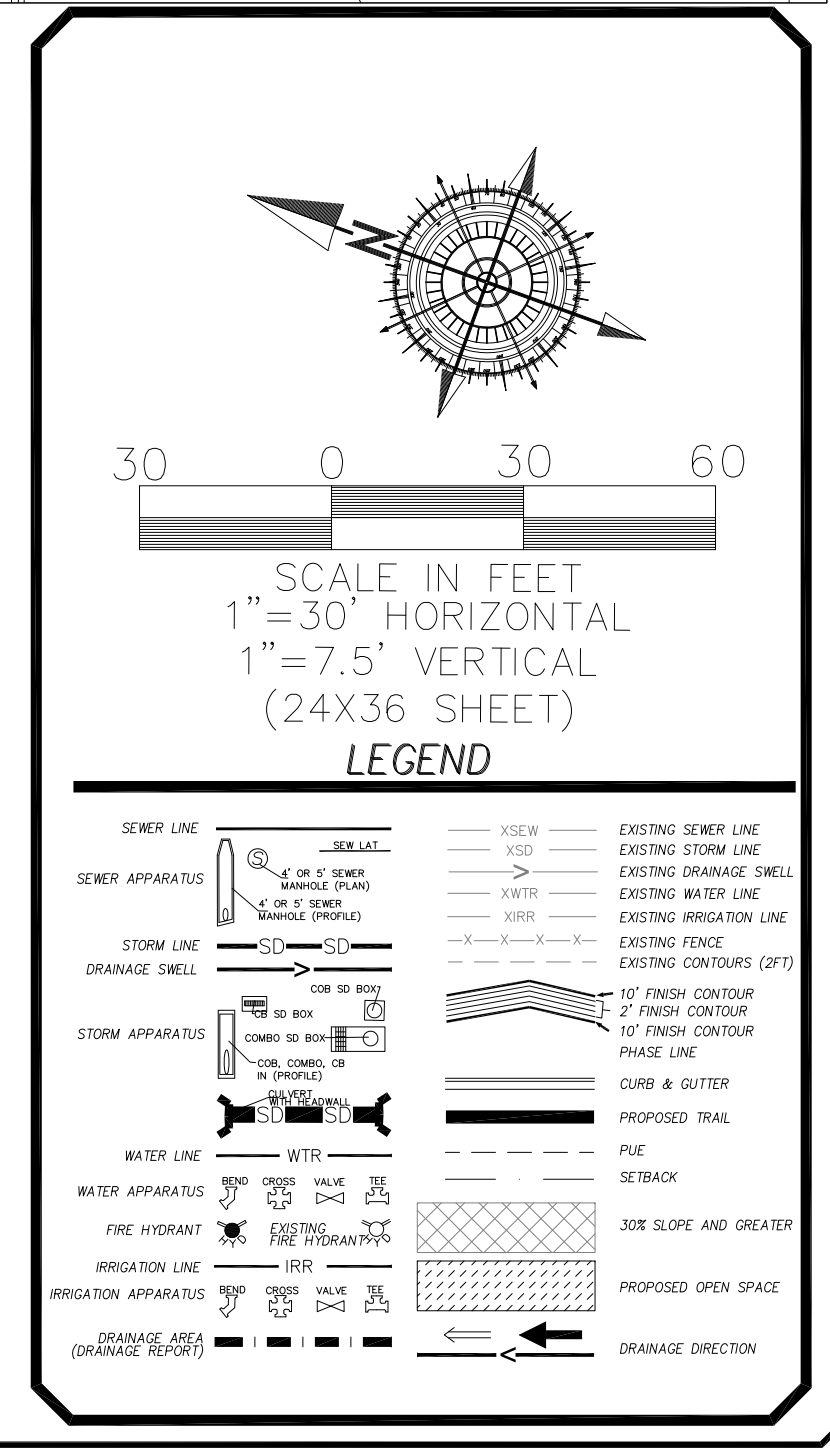
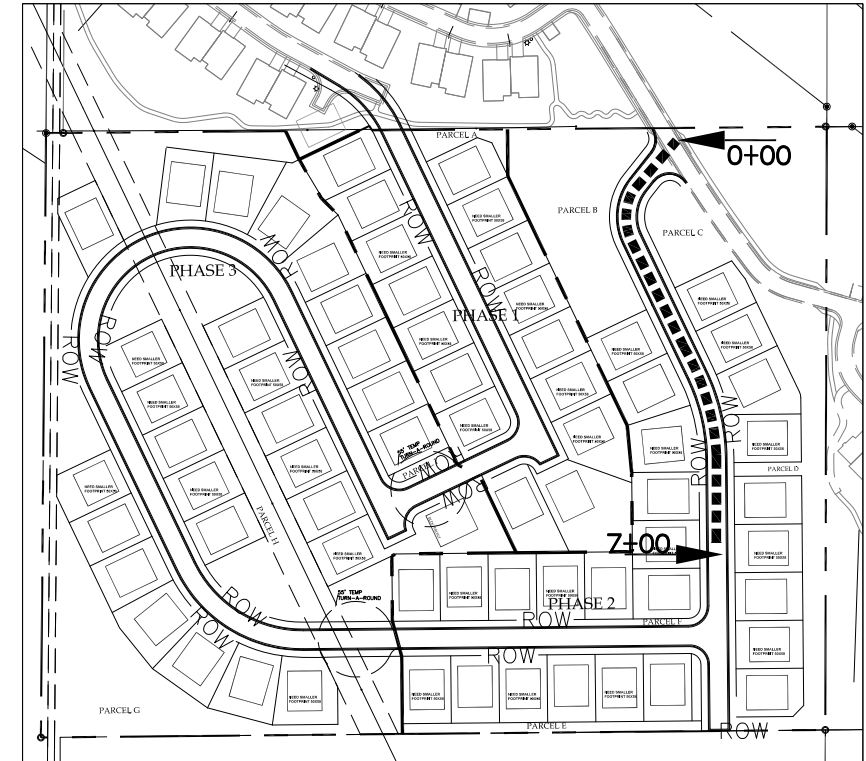
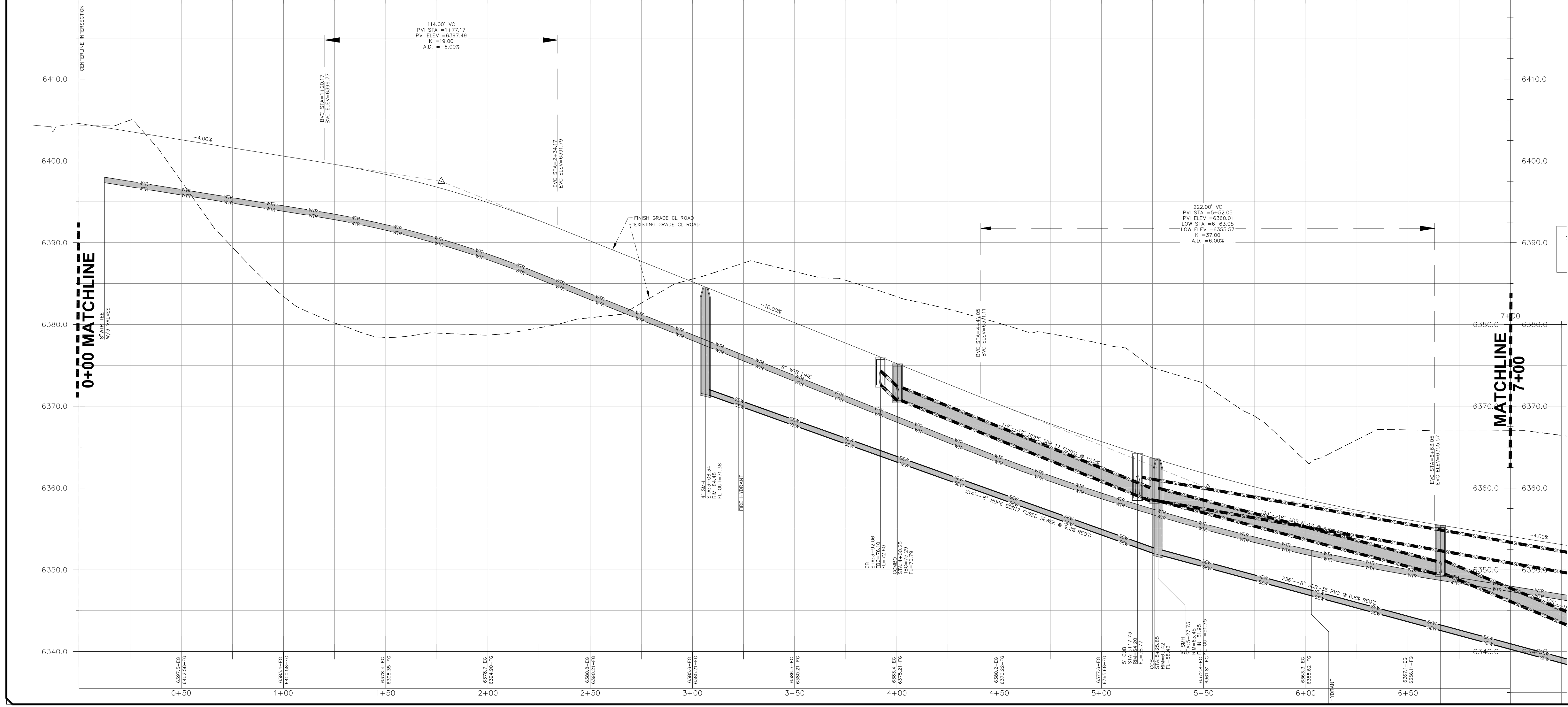
**LEGEND**

DEEP LINE	EXISTING DEEP LINE
SEWER APPROPRIATE	EXISTING SEWER APPROPRIATE
STORM LINE	EXISTING STORM LINE
STORM APPROPRIATE	EXISTING STORM APPROPRIATE
DEEP LINE	EXISTING DEEP LINE
SEWER APPROPRIATE	EXISTING SEWER APPROPRIATE
STORM LINE	EXISTING STORM LINE
STORM APPROPRIATE	EXISTING STORM APPROPRIATE
DEEP LINE	EXISTING DEEP LINE
SEWER APPROPRIATE	EXISTING SEWER APPROPRIATE
STORM LINE	EXISTING STORM LINE
STORM APPROPRIATE	EXISTING STORM APPROPRIATE



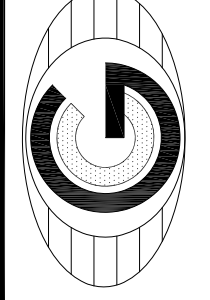






NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	7-1-19
SURVEY BY:	HAWES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'



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CONSTRUCTION MANAGEMENT

LAKEVIEW ESTATES

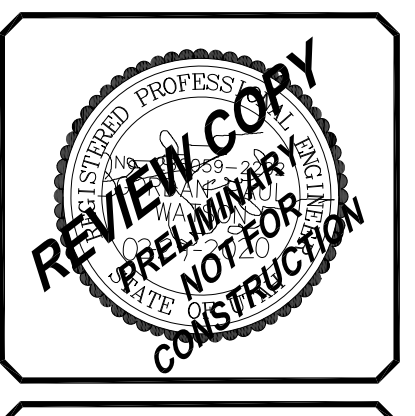
PLAN and PROFILE

ROAD 4A

STA: 0+00 to 7+00

PRINT DATE: 2-29-20

HIDEOUT TOWN



SHEET NO. PP1



















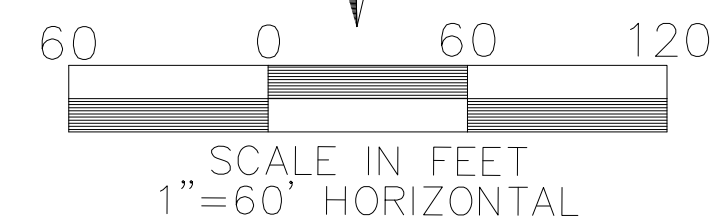






HIGHWAY 248

TO JORDANELLE  
RESERVOIR

[illegible]

CUT 103,390 CY  
FILL 145,204 CY

EX XX" CMP

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LAKEVIEW ESTATES

STORM WATER POLLUTION PREVENTION

PRINT DATE: 2-29-20

# HIDEOUT

---

## TOWN

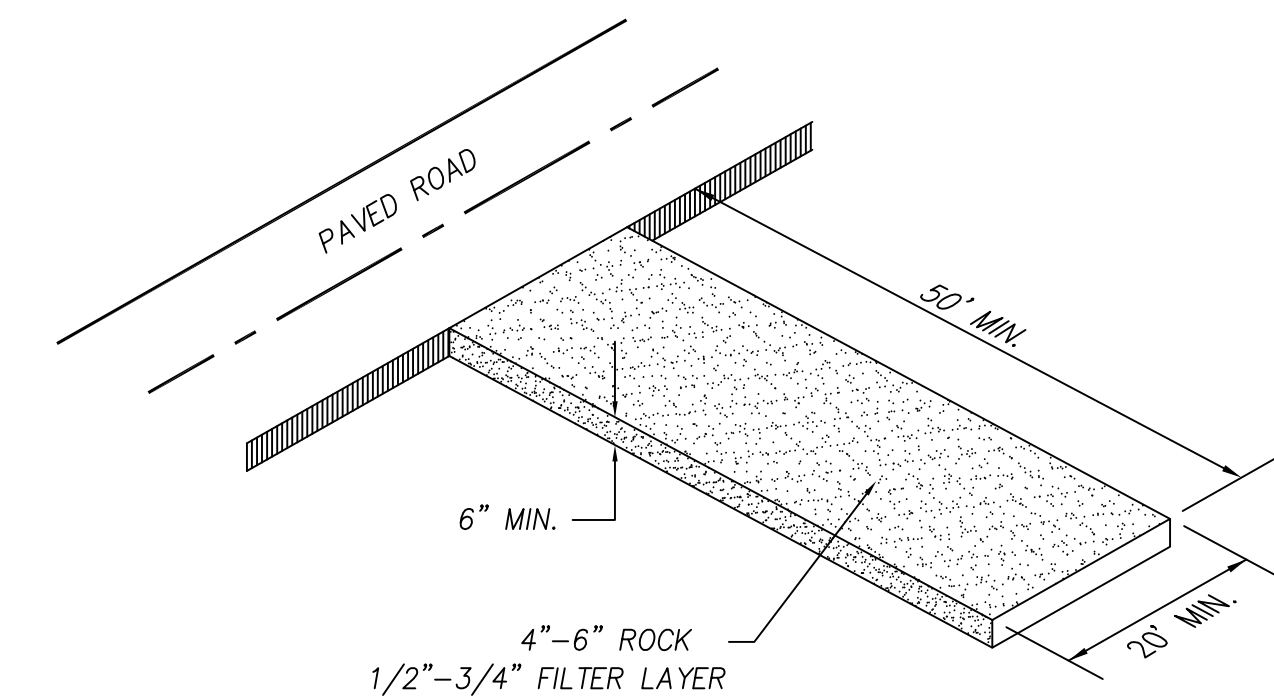
SHEET NO. SWPPP

SEE PAGES ER1 and  
ER2 FOR DETAILS









- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
- 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)
- 3-PLACE COURSE AGGREGATE, 1 TO 2-1/2 INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES
- 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

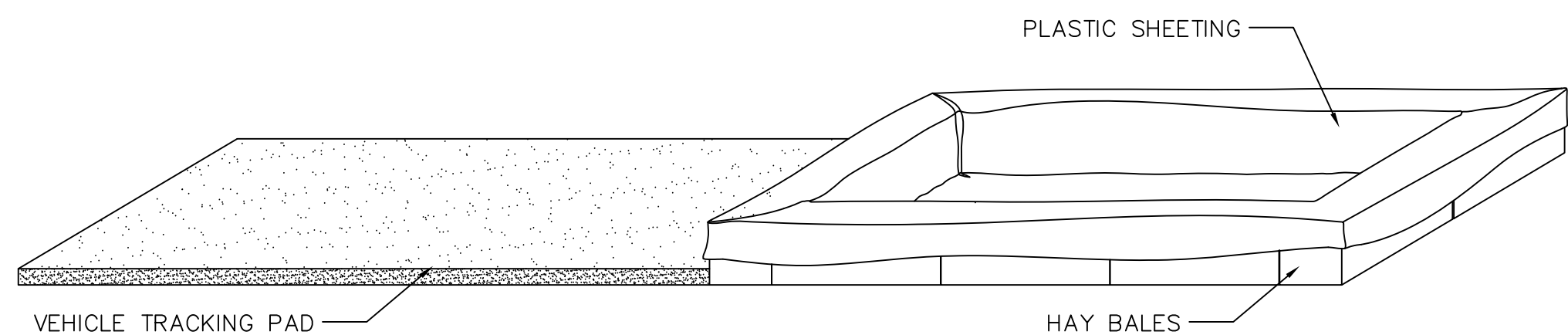
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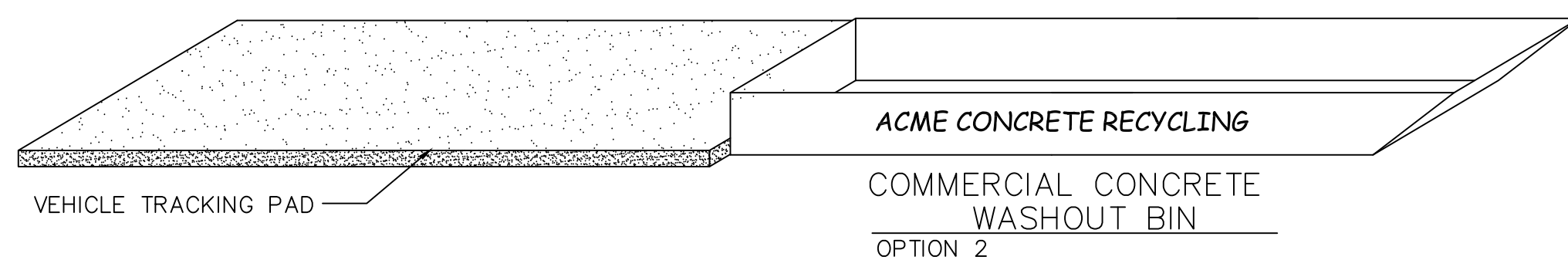
Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

NOT TO SCALE

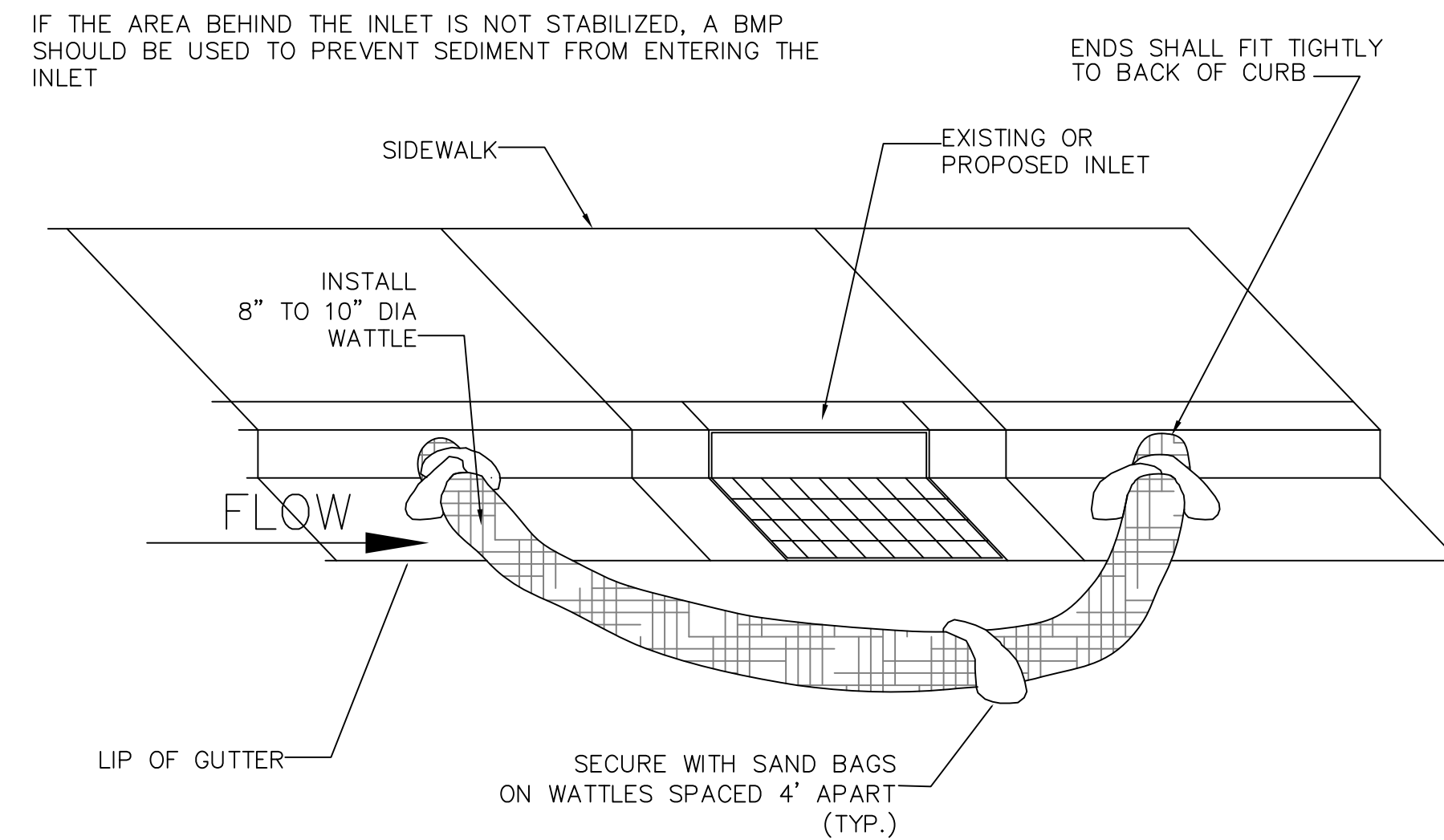
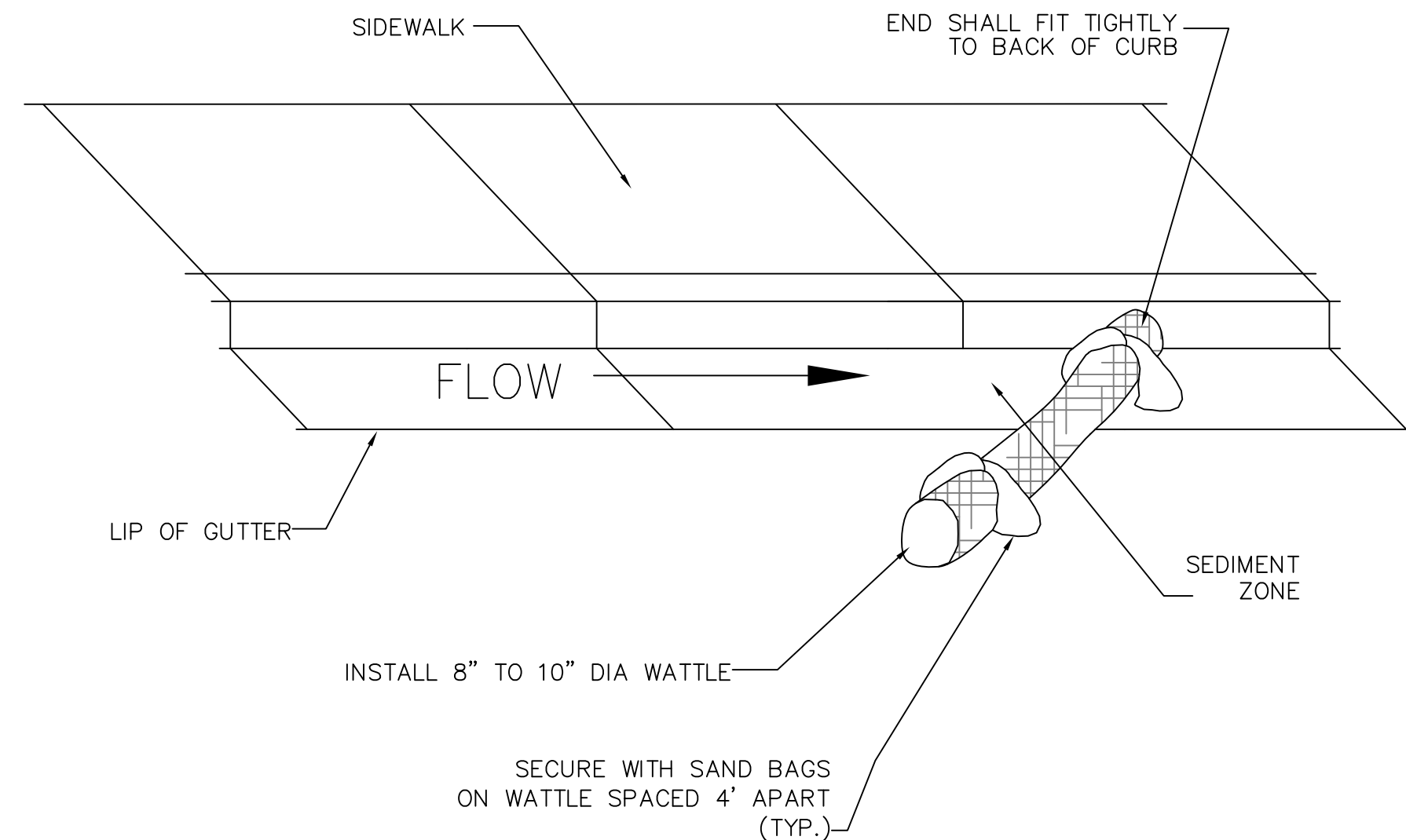
INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



OPTION 1



OPTION 2



NOT TO SCALE

SHEET NO. ER-2



PHASE 1

PHASE 2

PHASE 3

PARCEL A

PARCEL B

PARCEL C

PARCEL D

PARCEL E

PARCEL F

308 7385 SF.

309 7319 SF.

310 8942 SF.

311 9951 SF.

312 8066 SF.

313 6860 SF.

314 6860 SF.

315 6860 SF.

316 6860 SF.

317 11036 SF.

318 7027 SF. NEED SMALLER FOOTPRINT 50X58

319 6860 SF.

320 6860 SF. NEED SMALLER FOOTPRINT 50X58

321 6860 SF.

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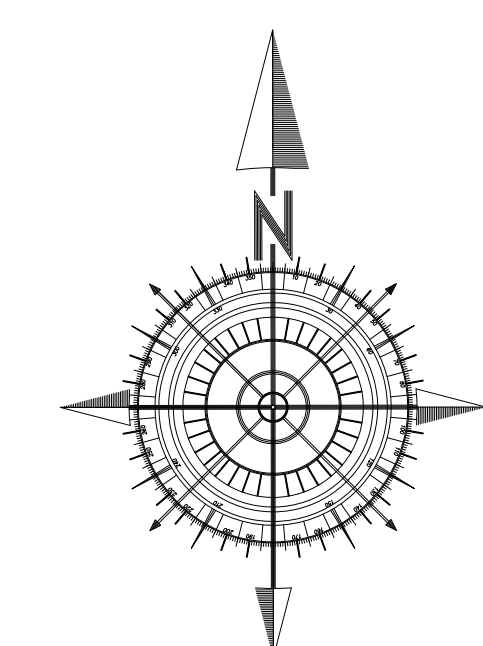
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ROADWAY CURVE SIGN

55' TEMP TURN-A-ROUND

ROAD DEAD END SIGN

COMPASS ROSE




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SCALE IN FEET

1"=60' (24"x36" SHEET ONLY)

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ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=50'



**GATEWAY CONSULTING, Inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84005  
PH: (801) 694-5848 FAX: (801) 432-7050  
[patrick@gatewayconsultingllc.com](mailto:patrick@gatewayconsultingllc.com)

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CONSTRUCTION MANAGEMENT**

LAKEVIEW ESTATES

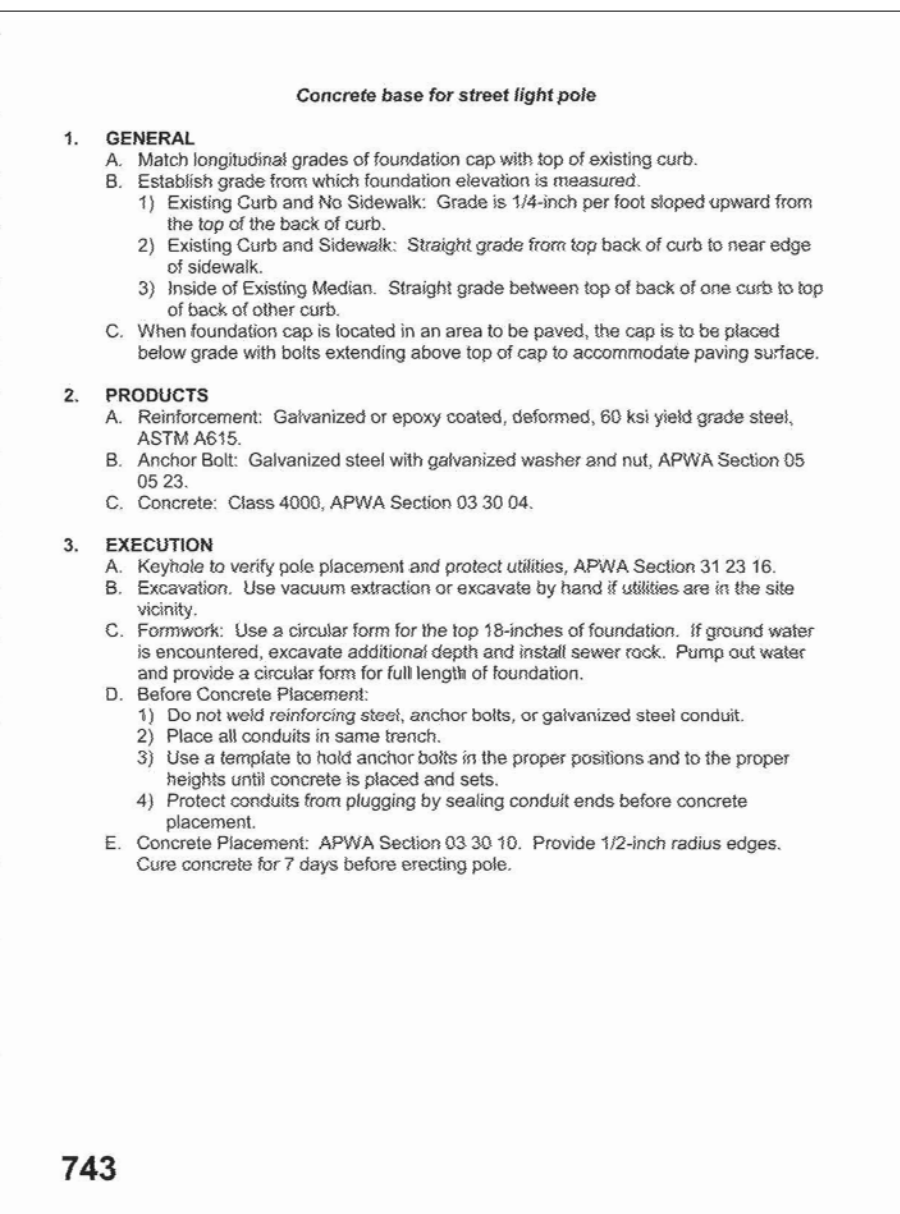
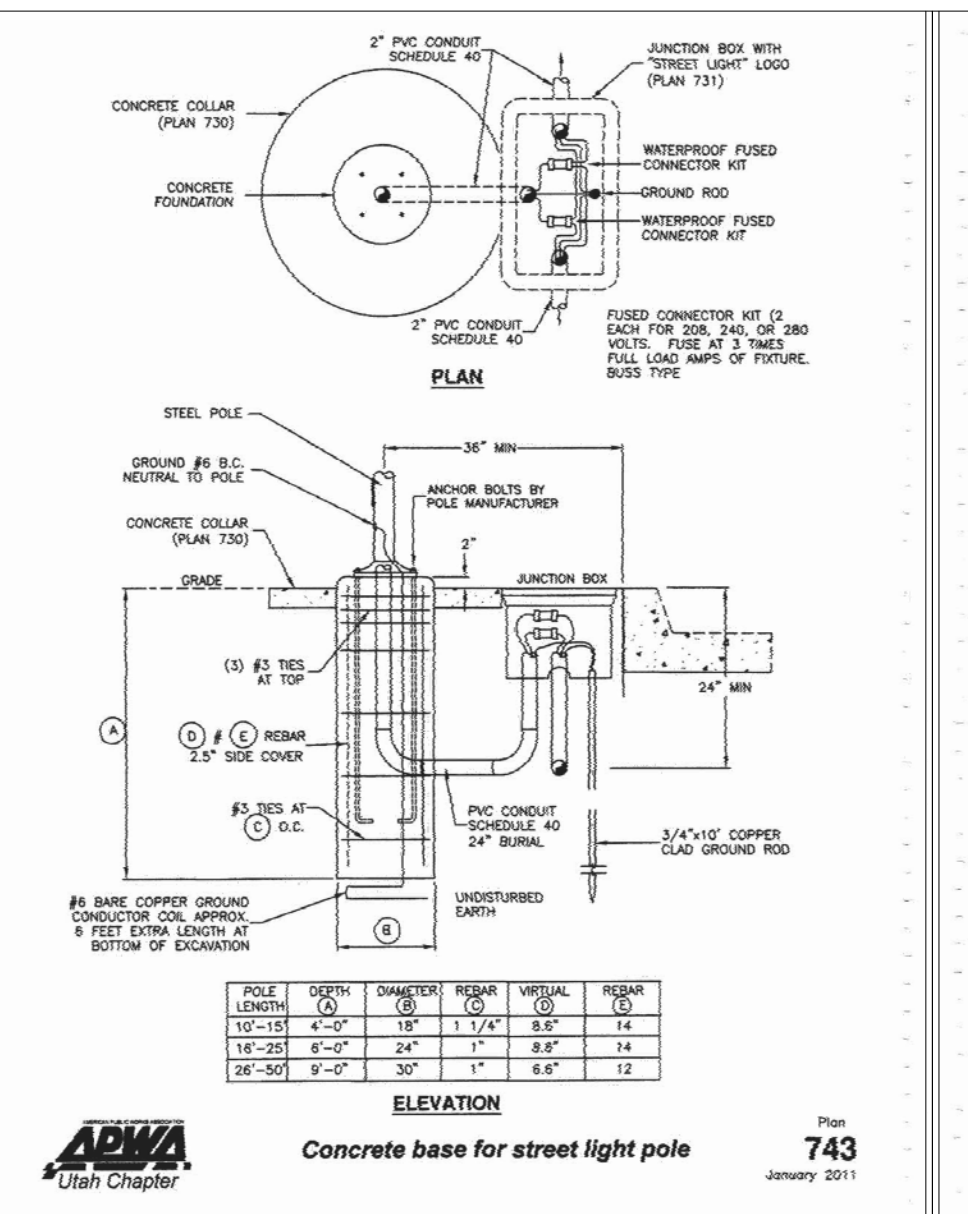
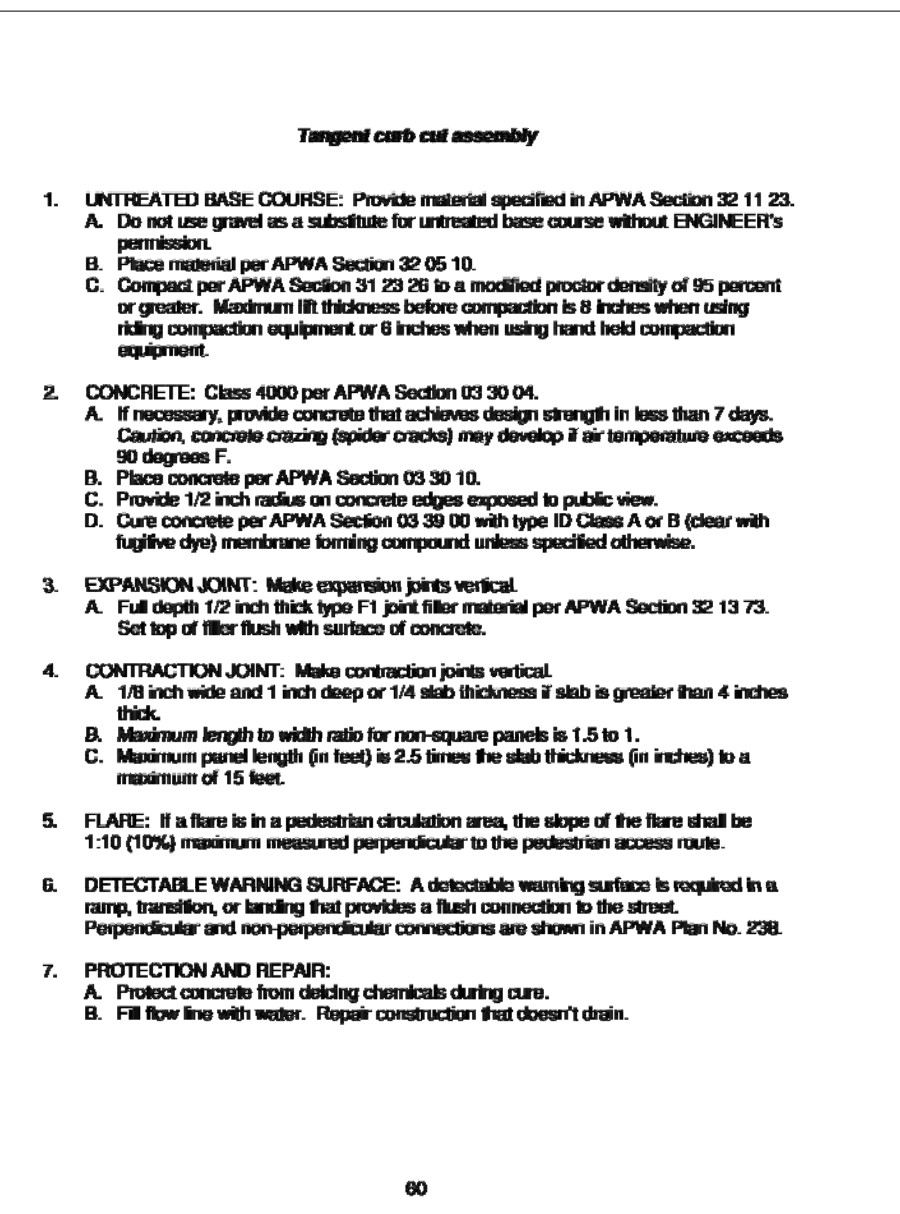
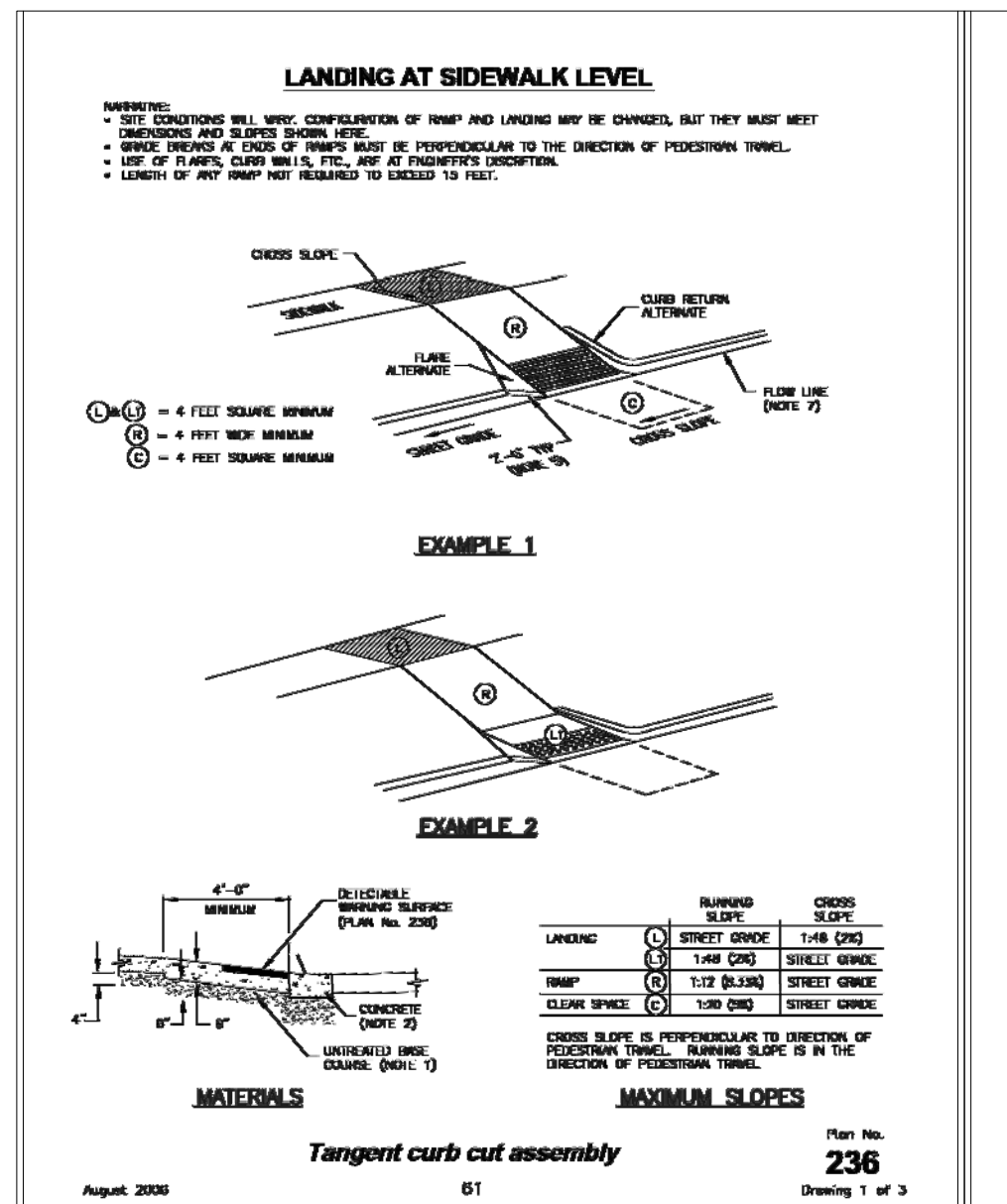
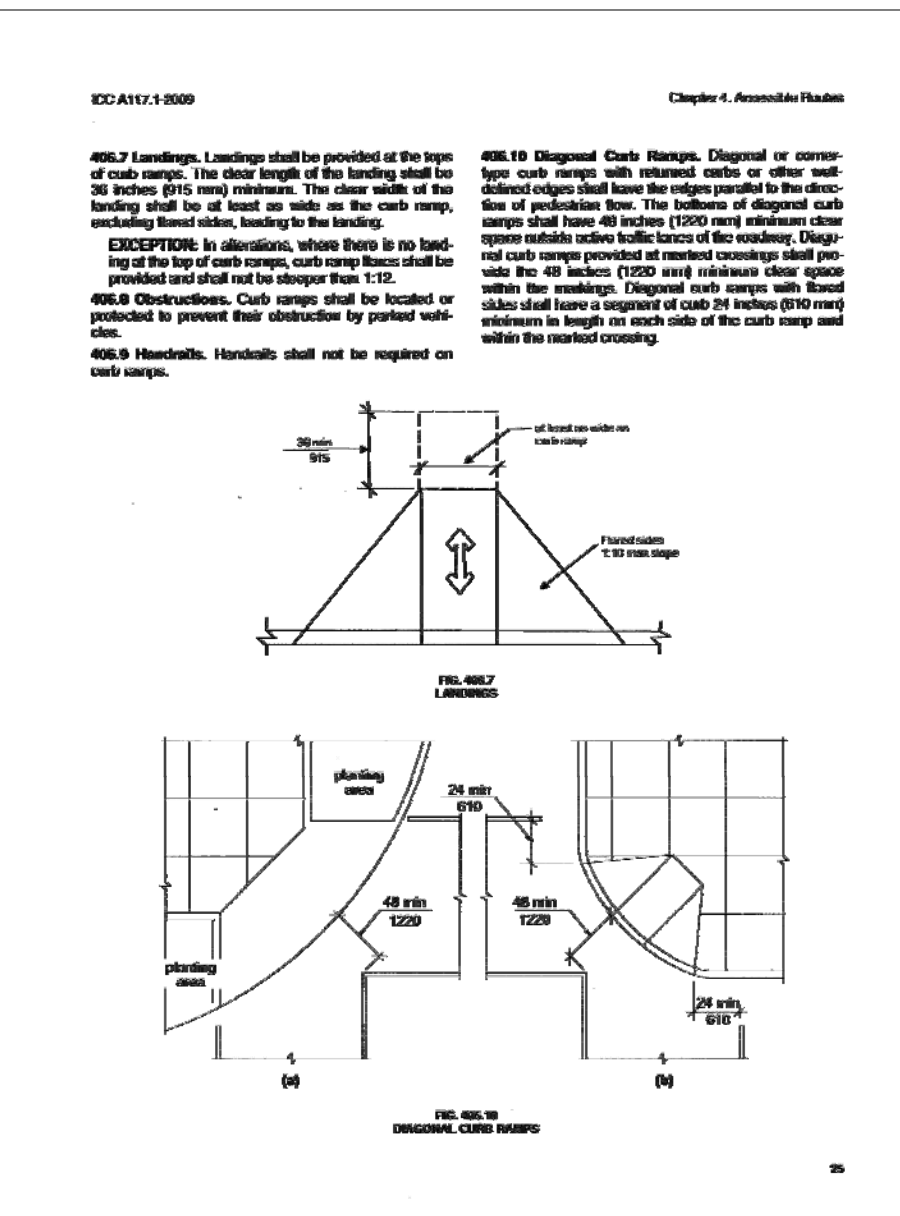
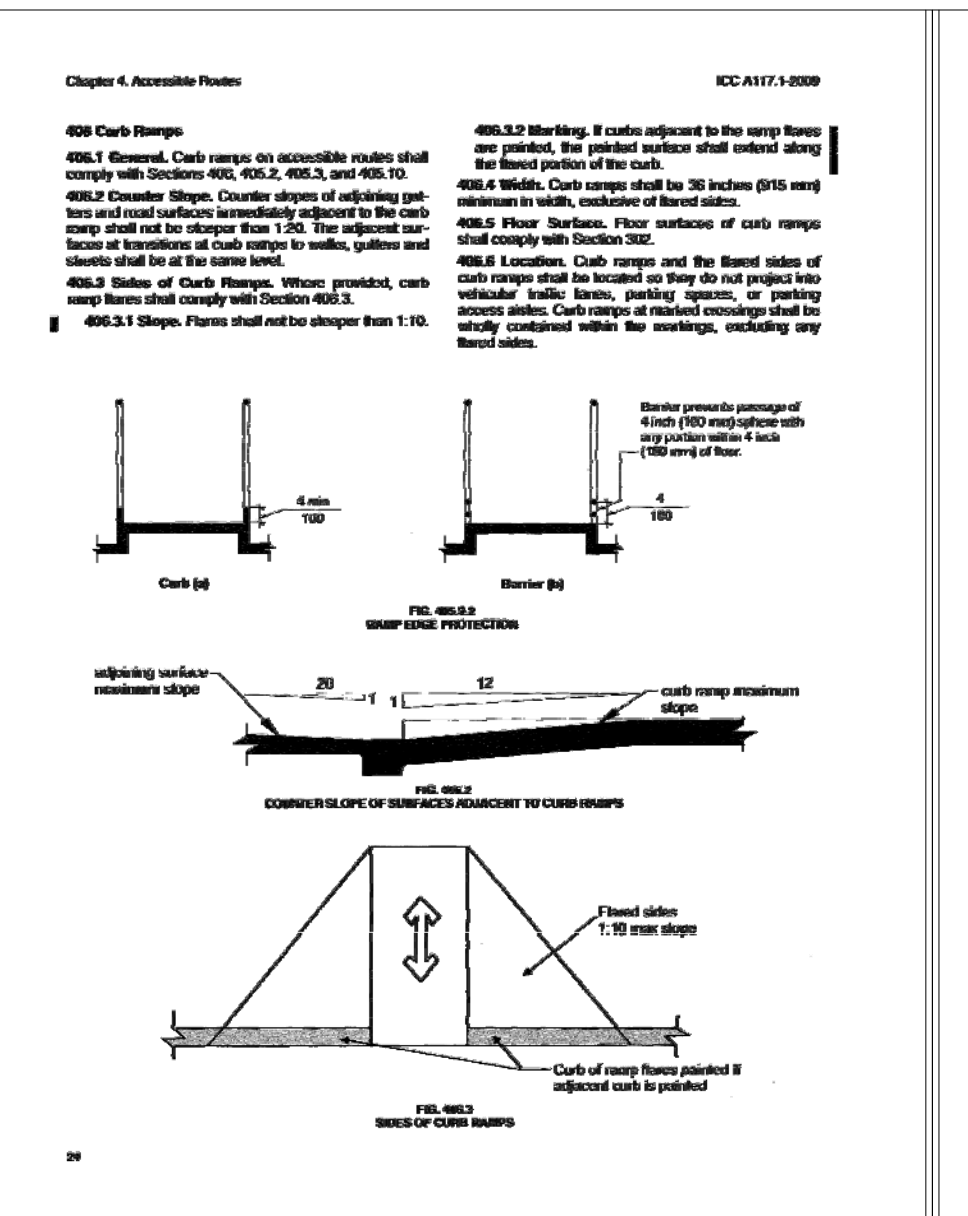
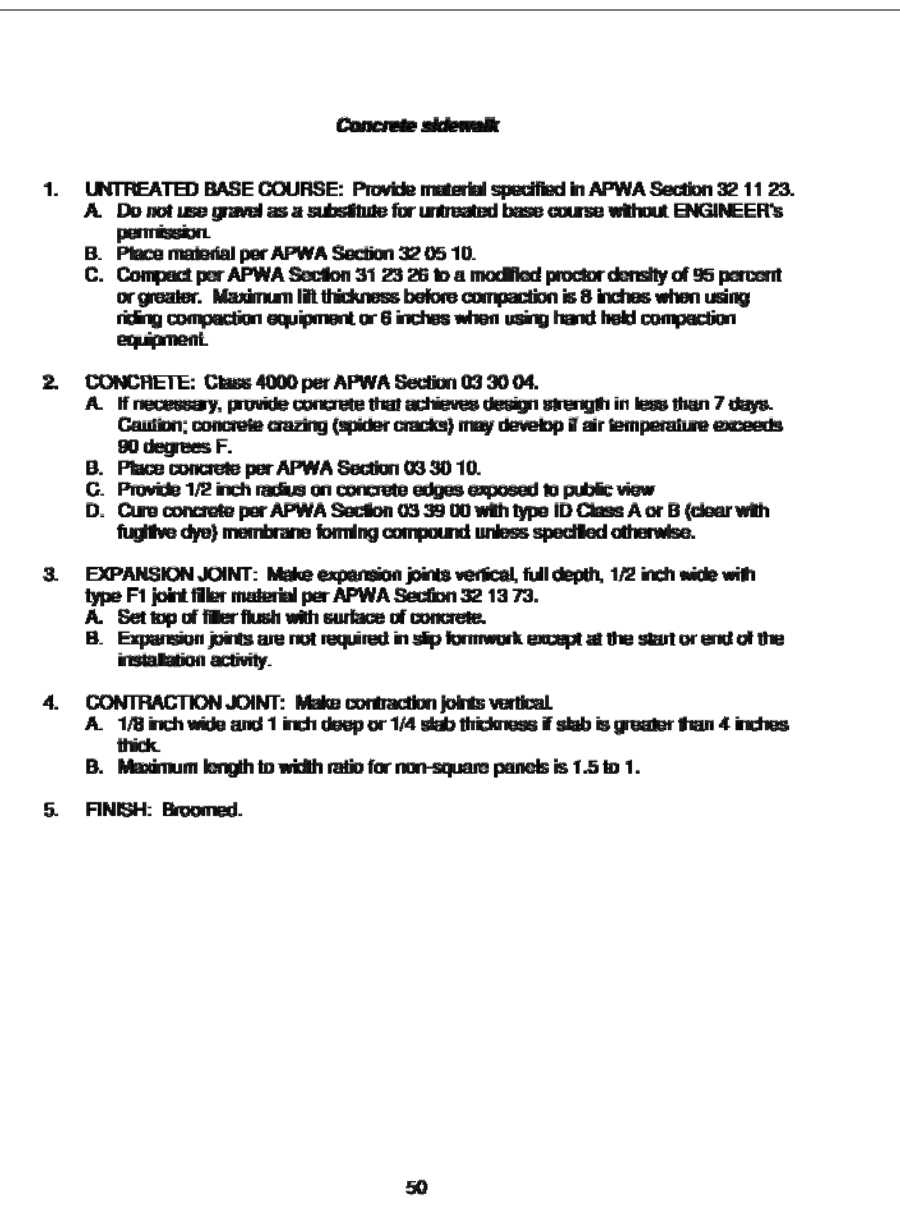
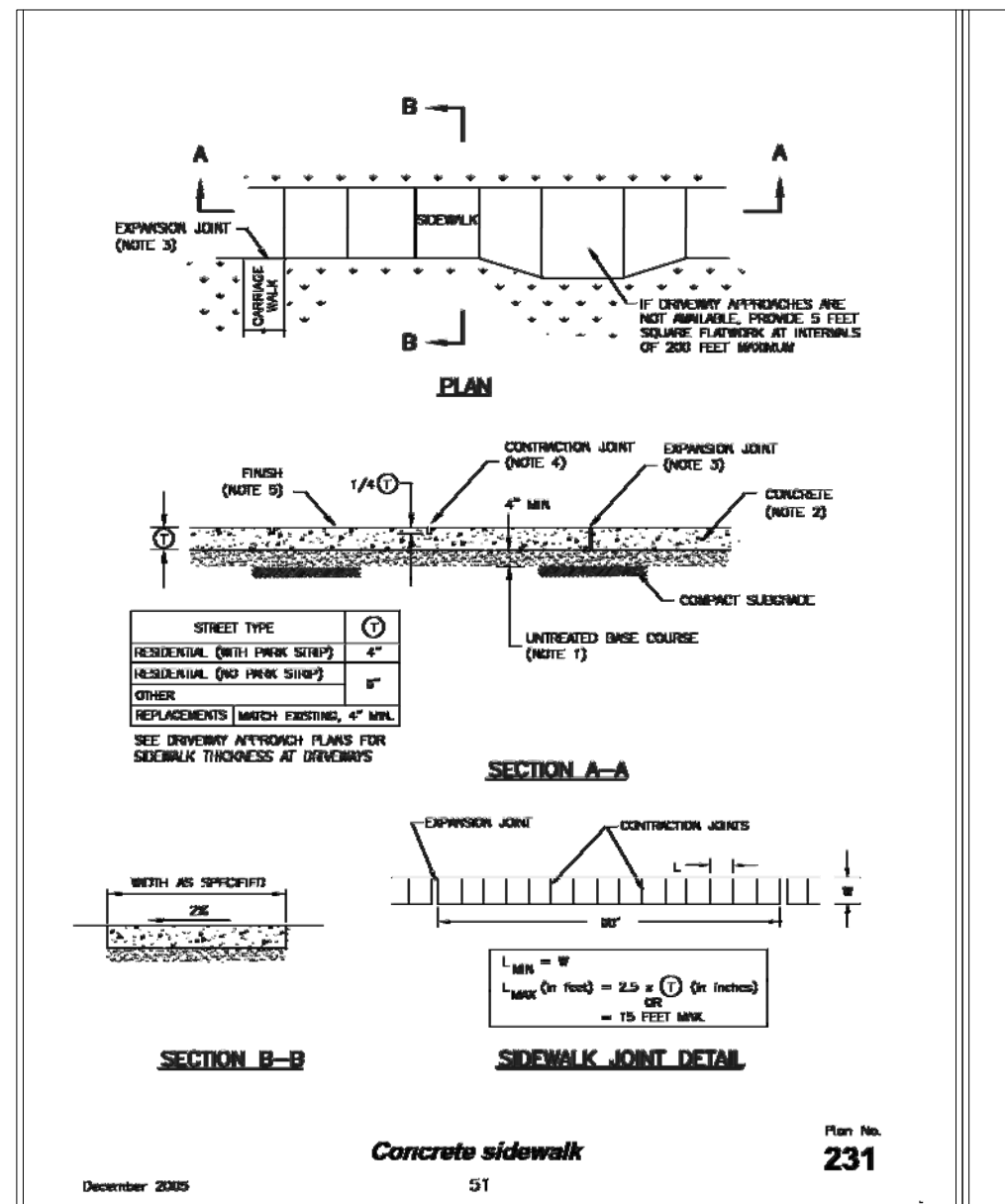
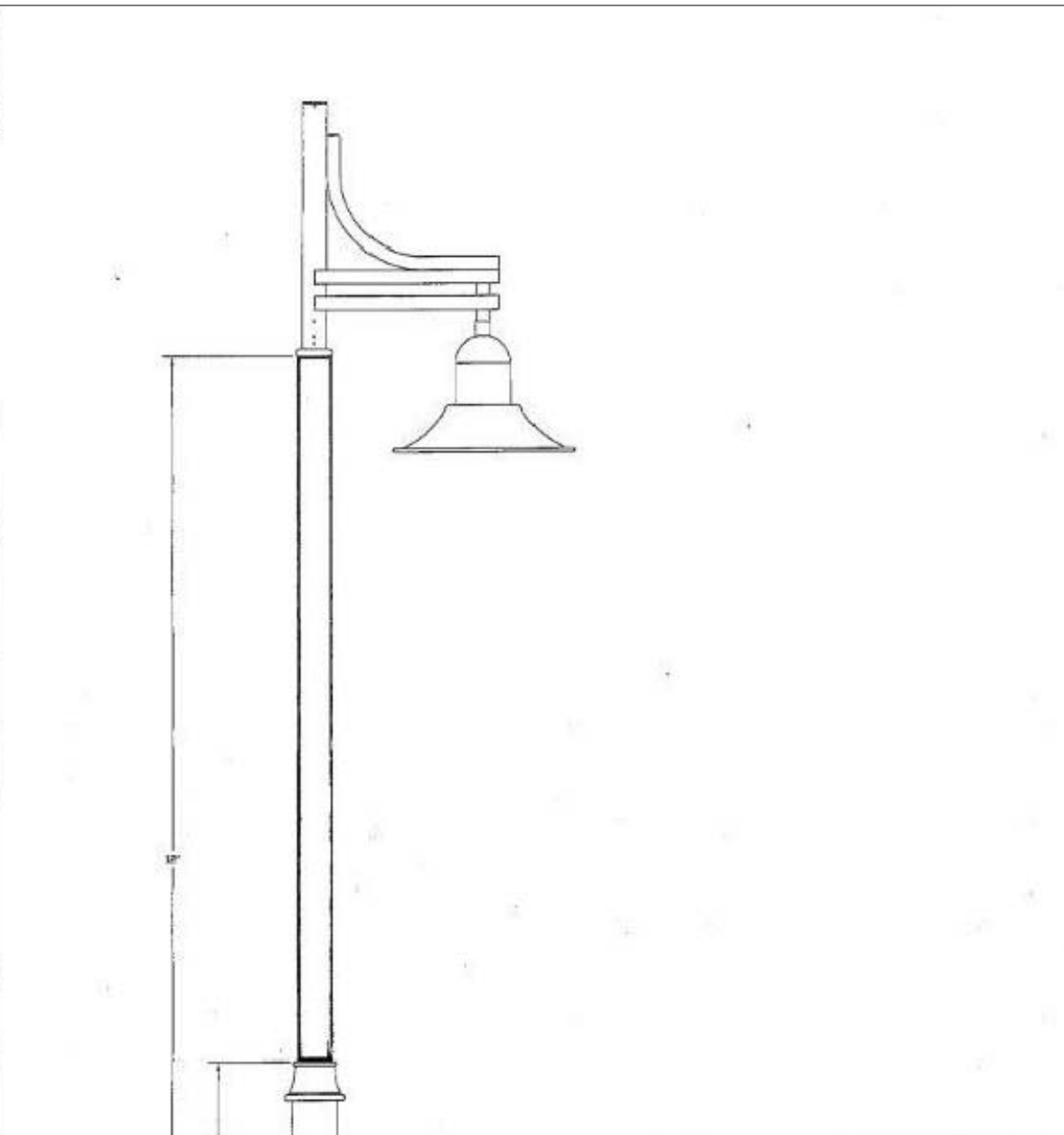
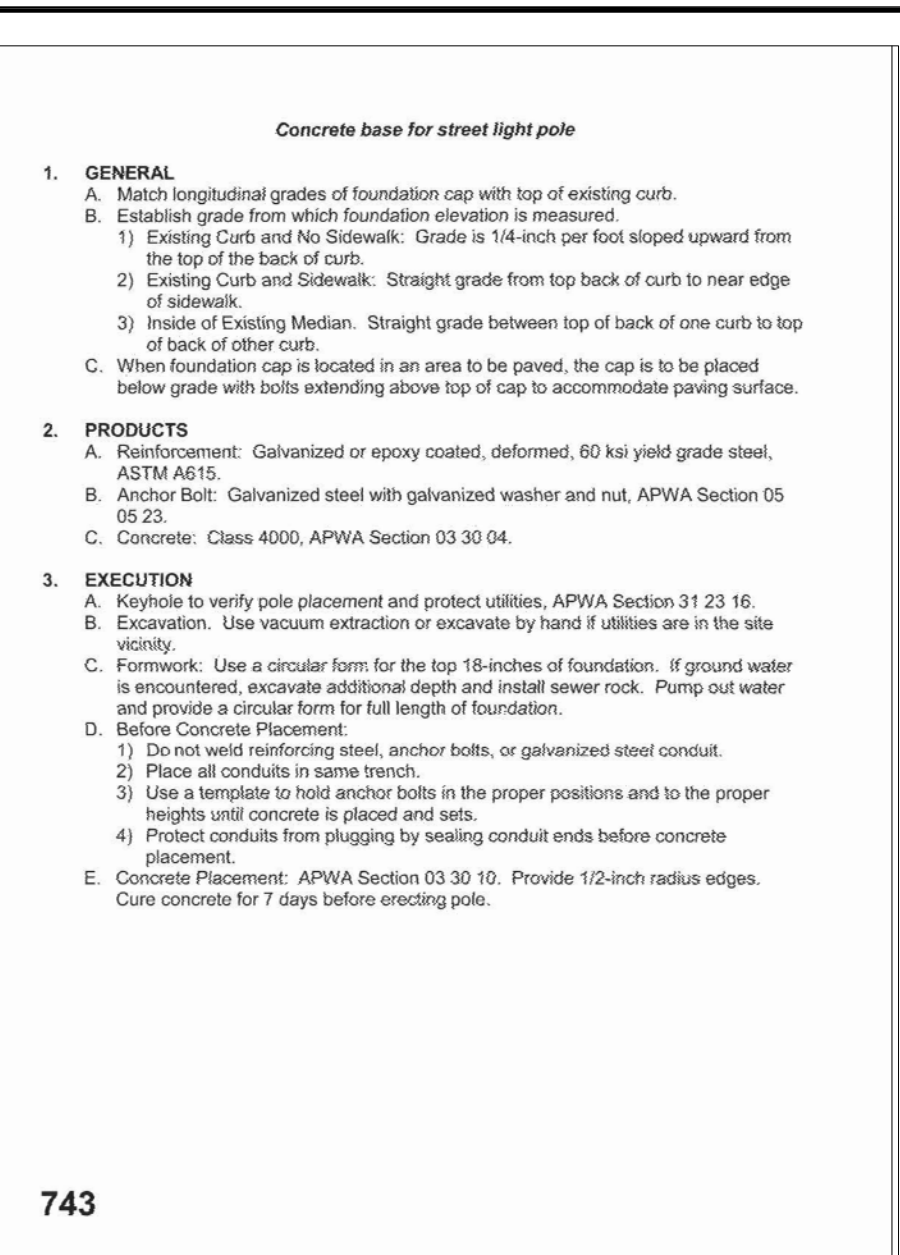
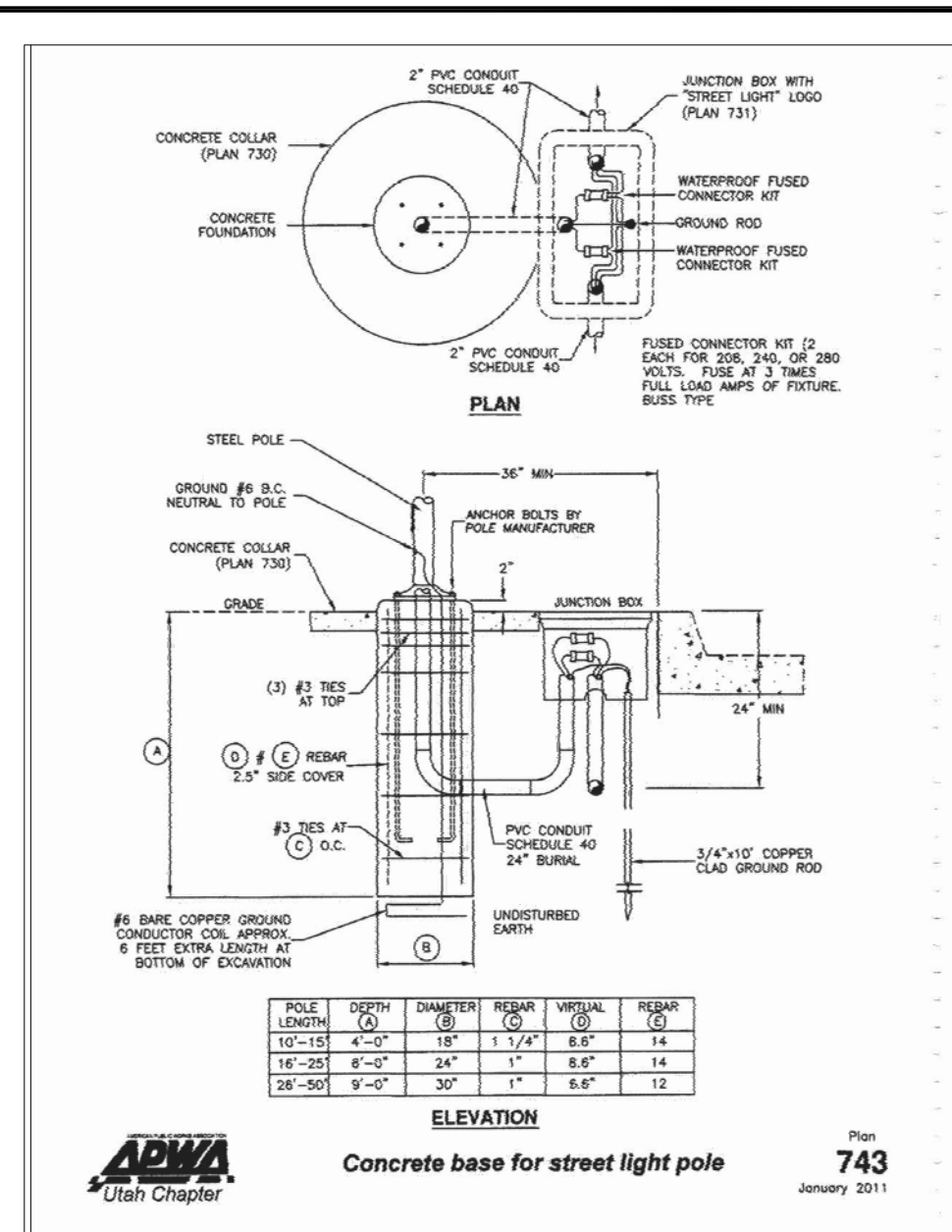
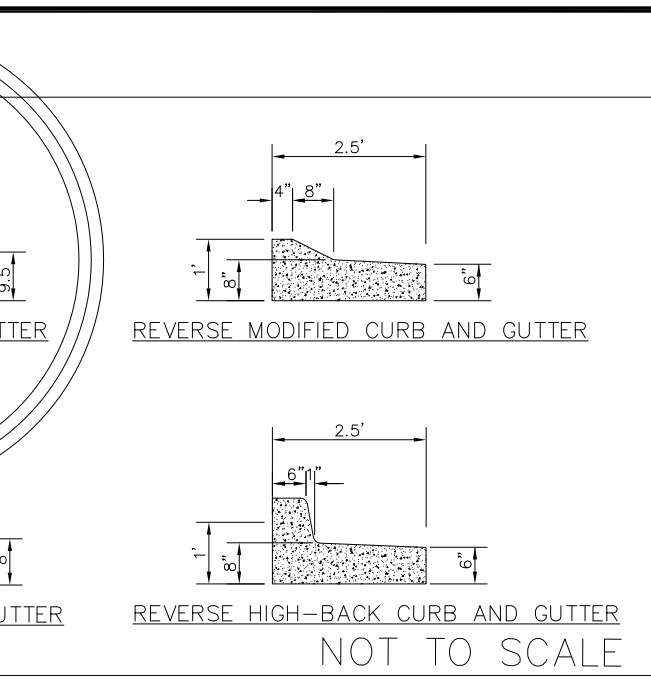
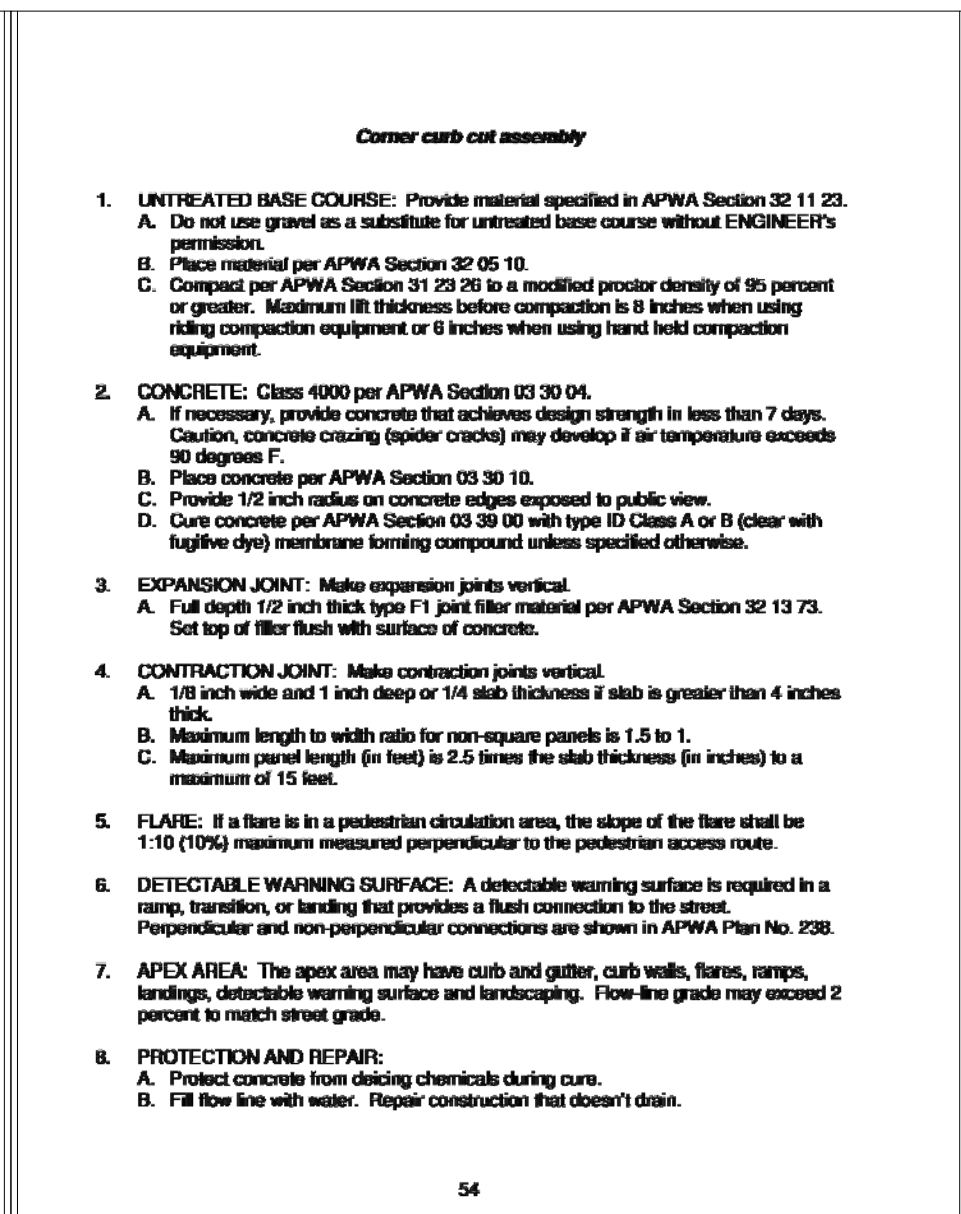
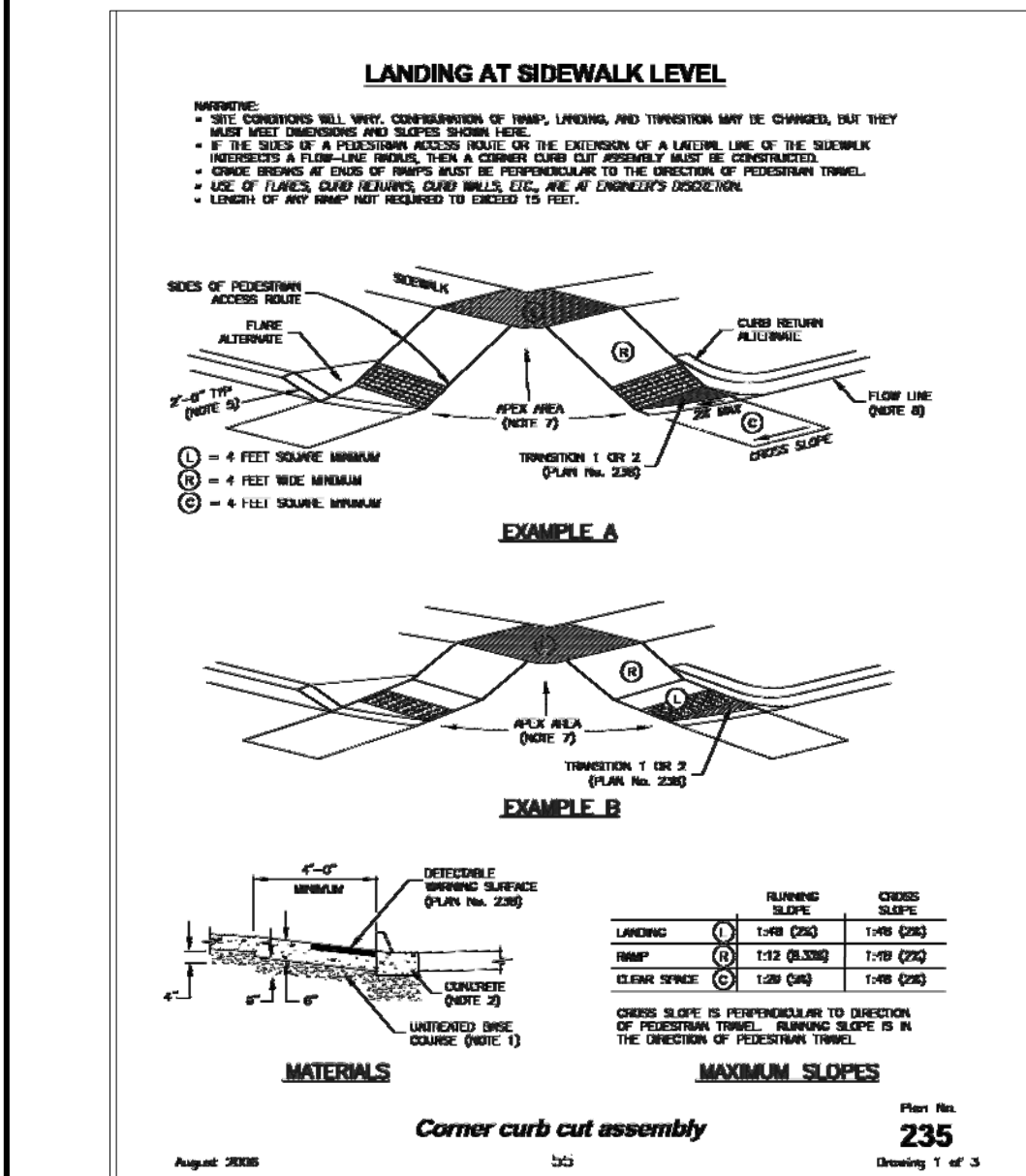
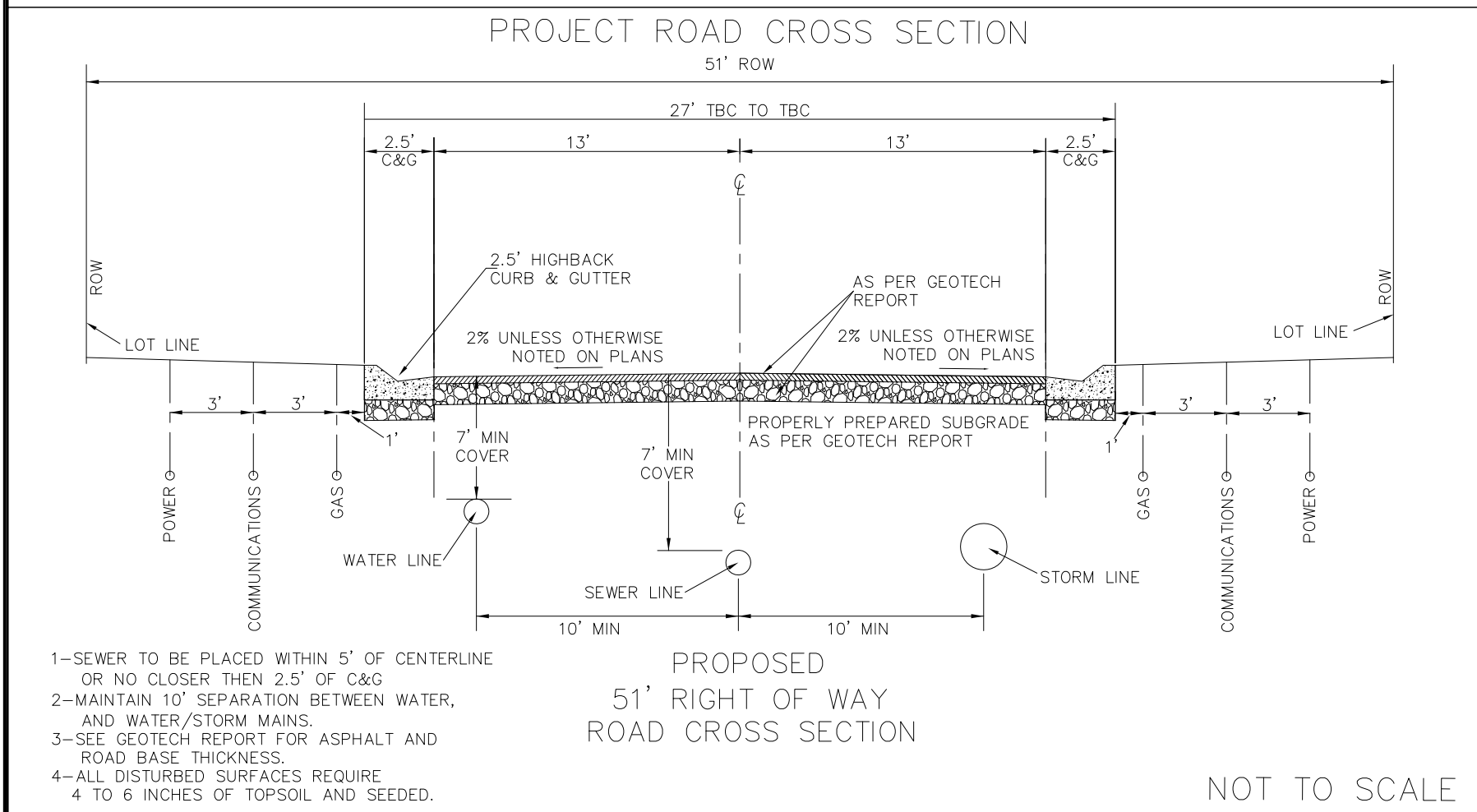
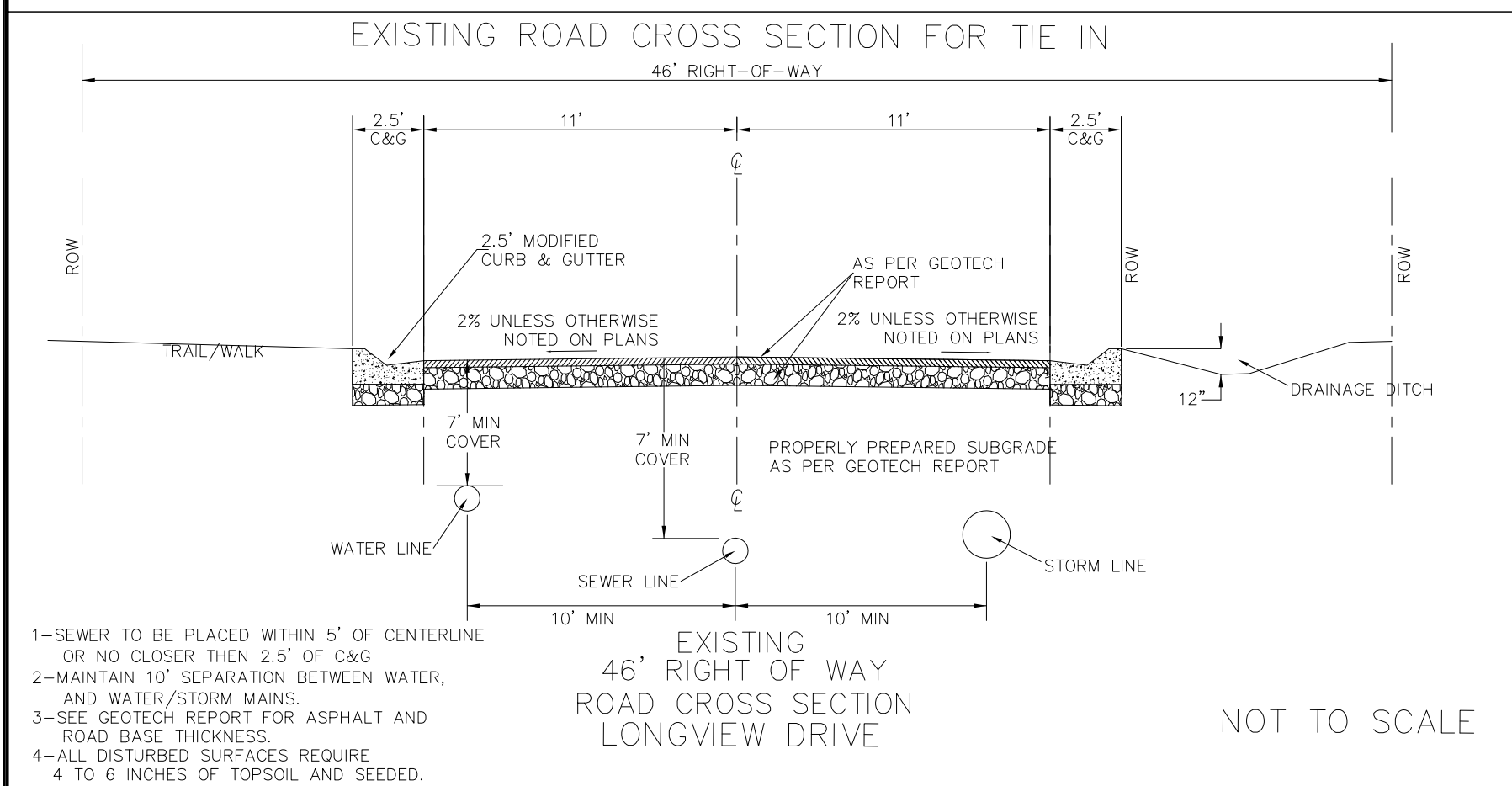
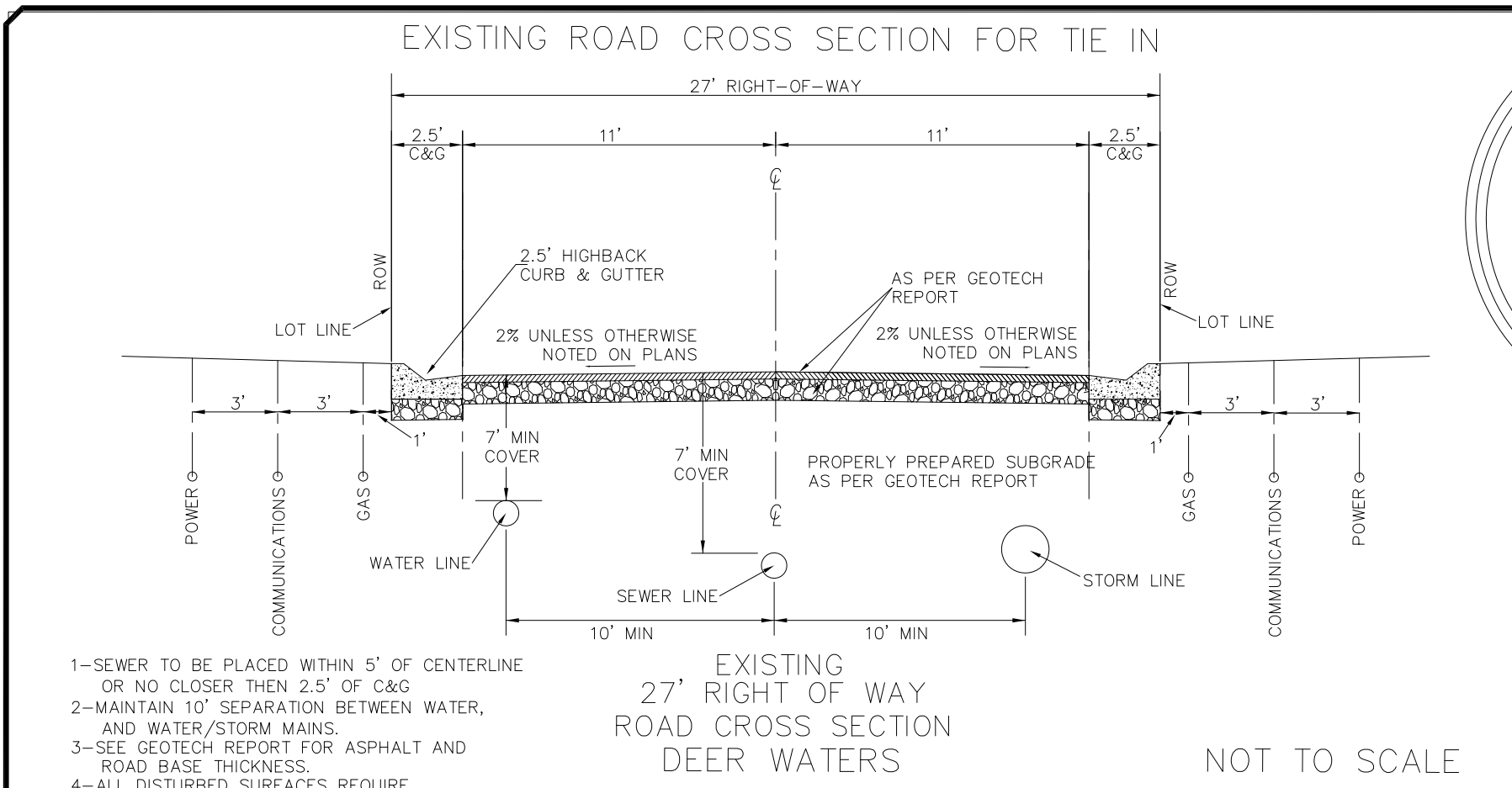
SIGNAGE, STRIPING AND LIGHTS

PRINT DATE: 2-29-20

HIDEOUT  
TOWN

SHEET NO. SSL





GATEWAY CONSULTING, Inc.

P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 604-5848 FAX: (801) 432-7150  
paul@gatewayconsultingllc.com

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STREET DETAILS

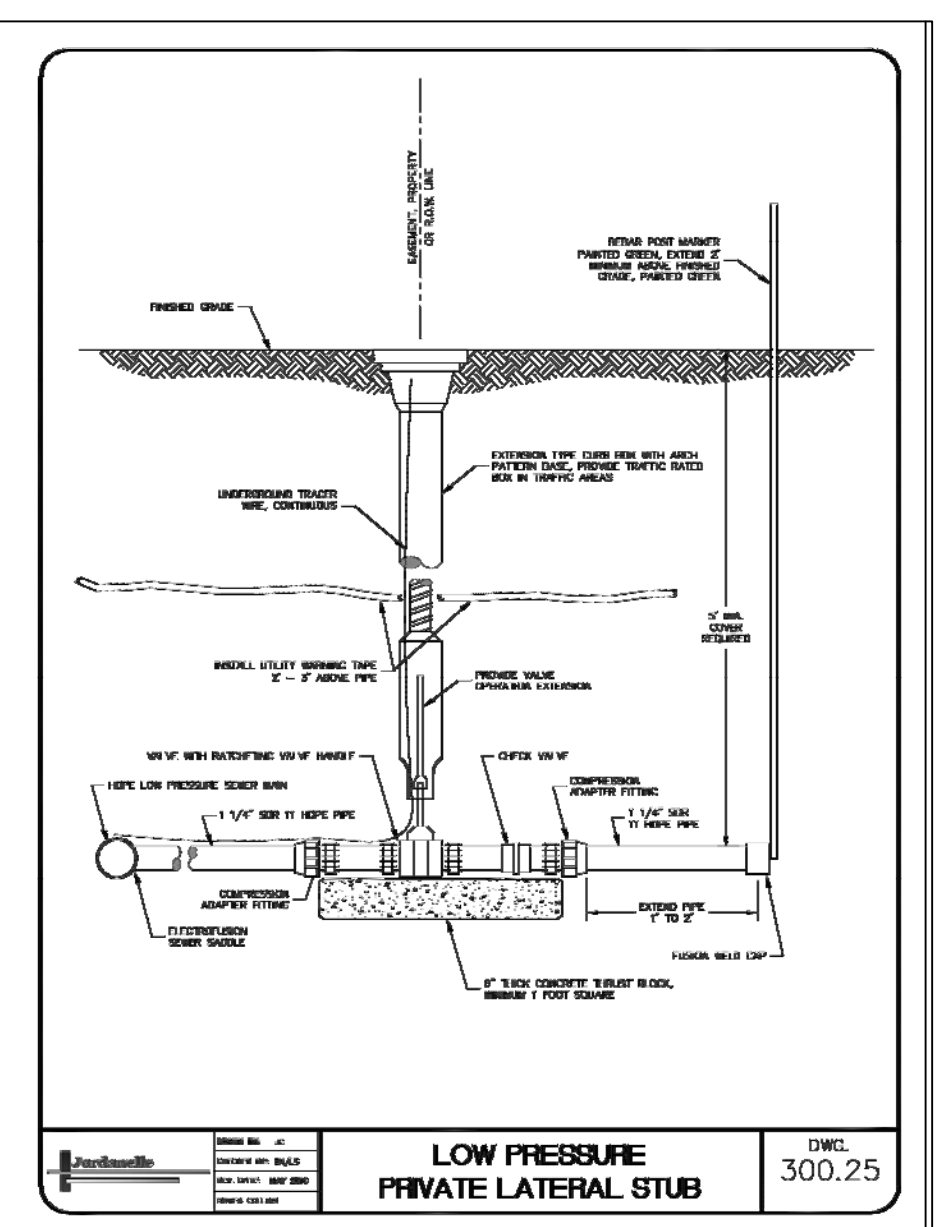
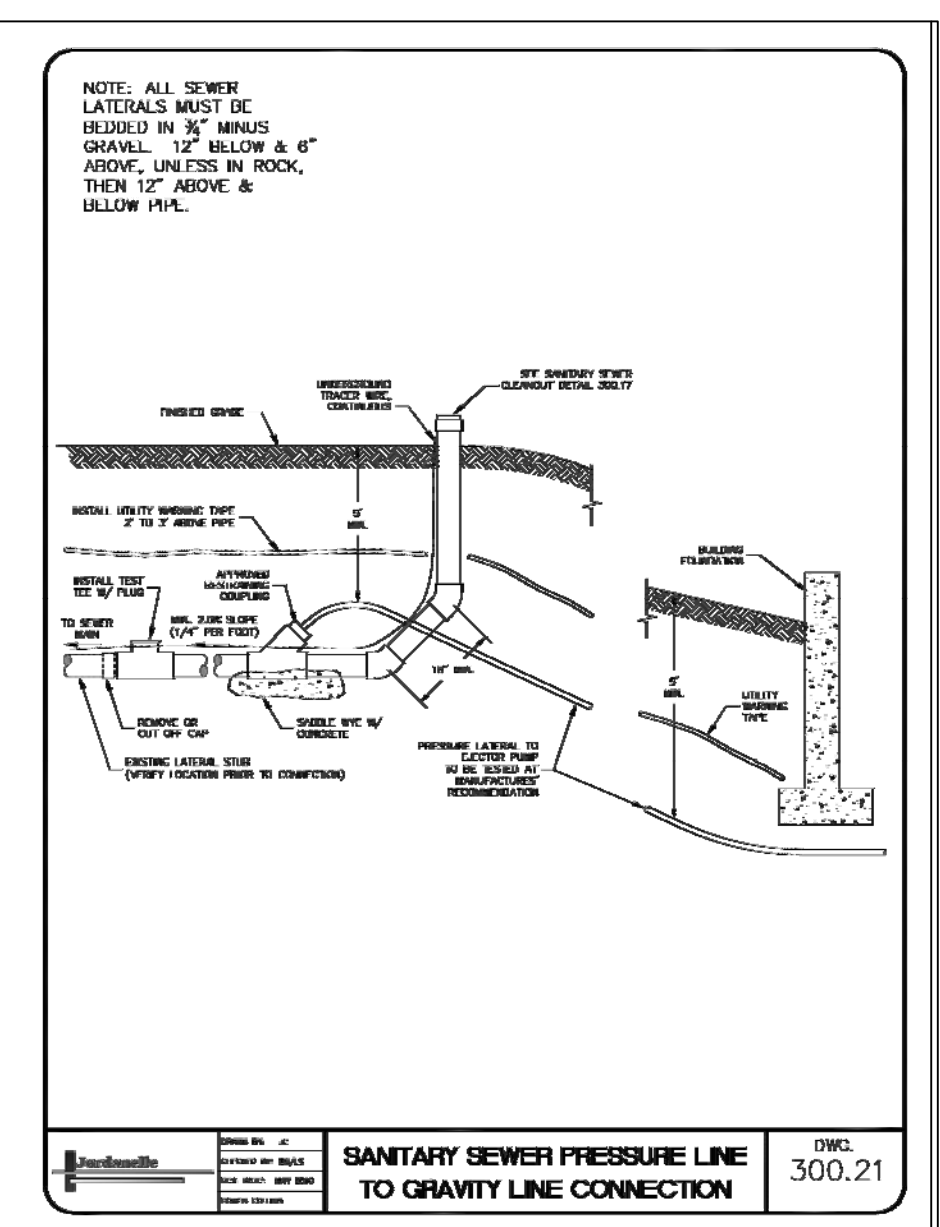
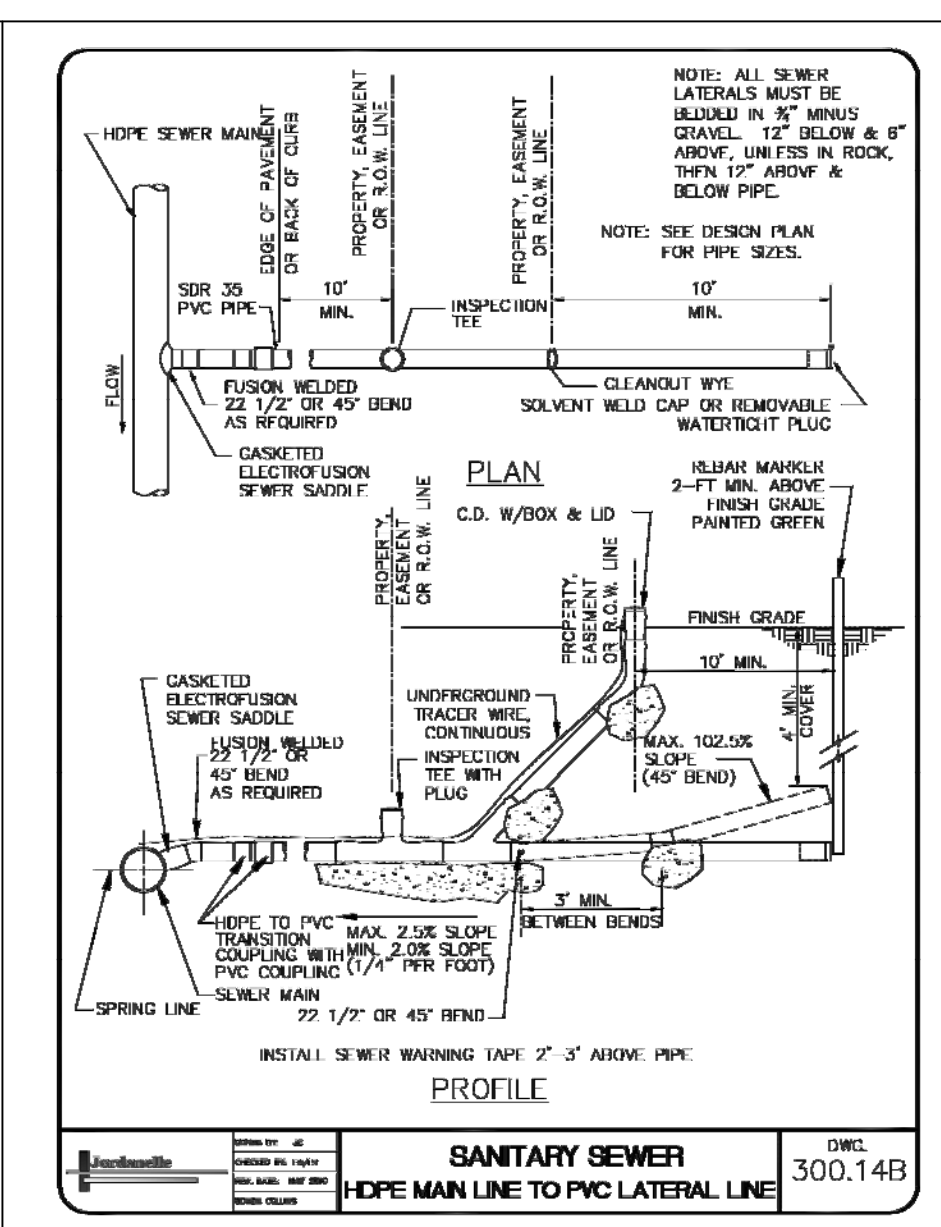
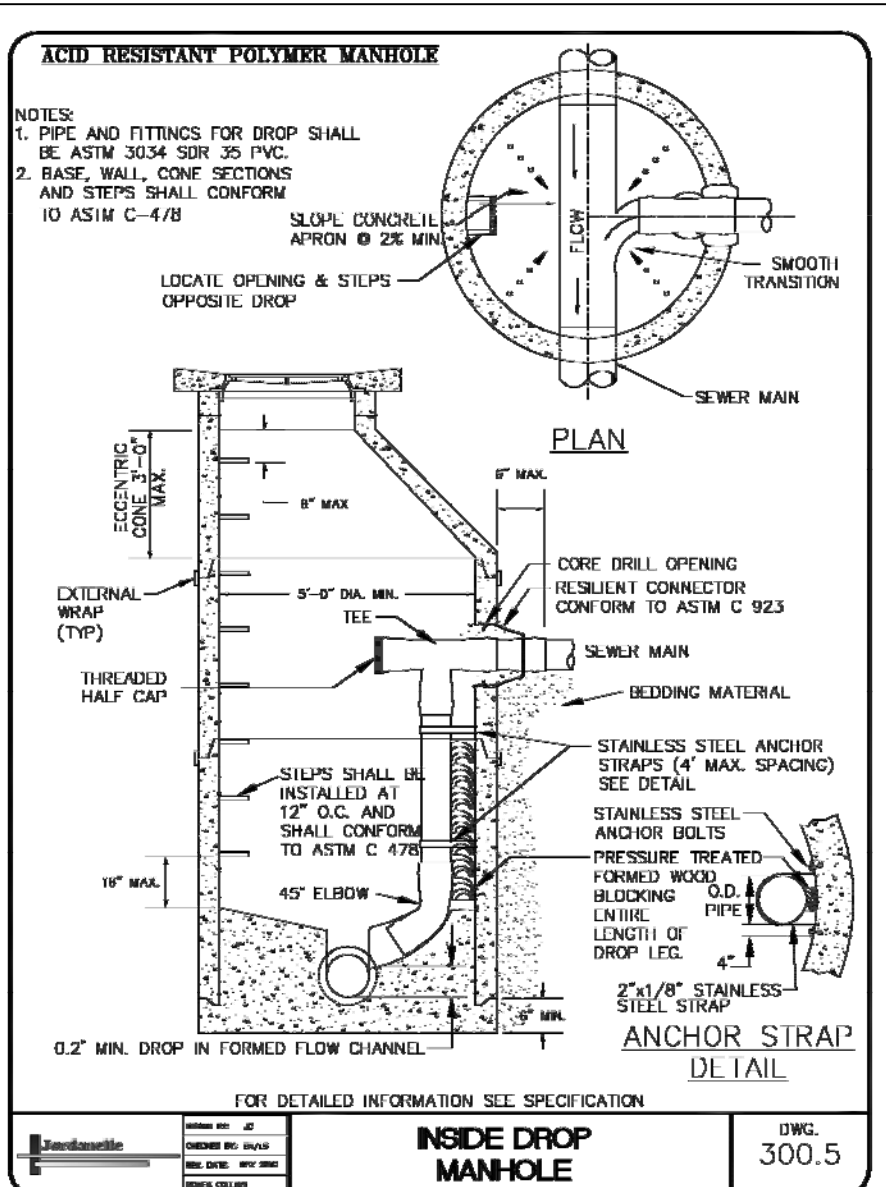
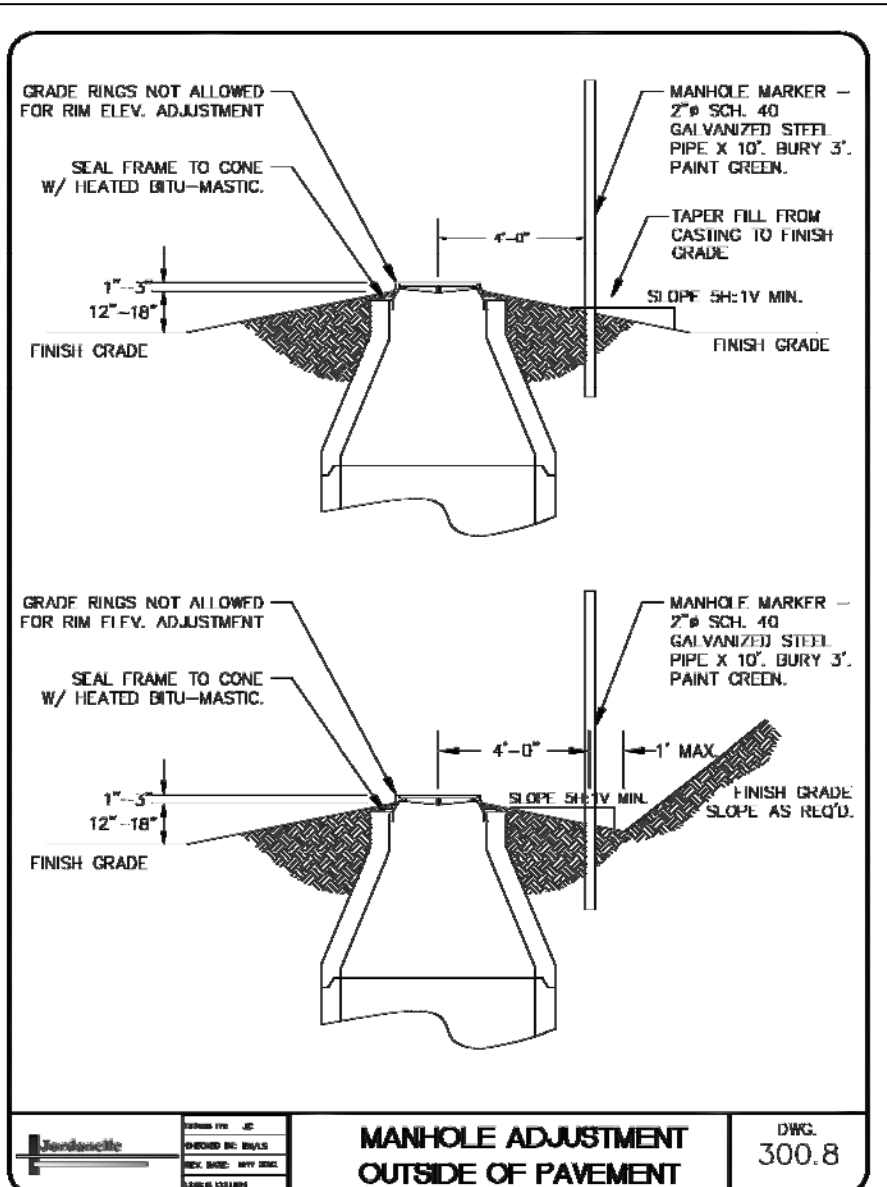
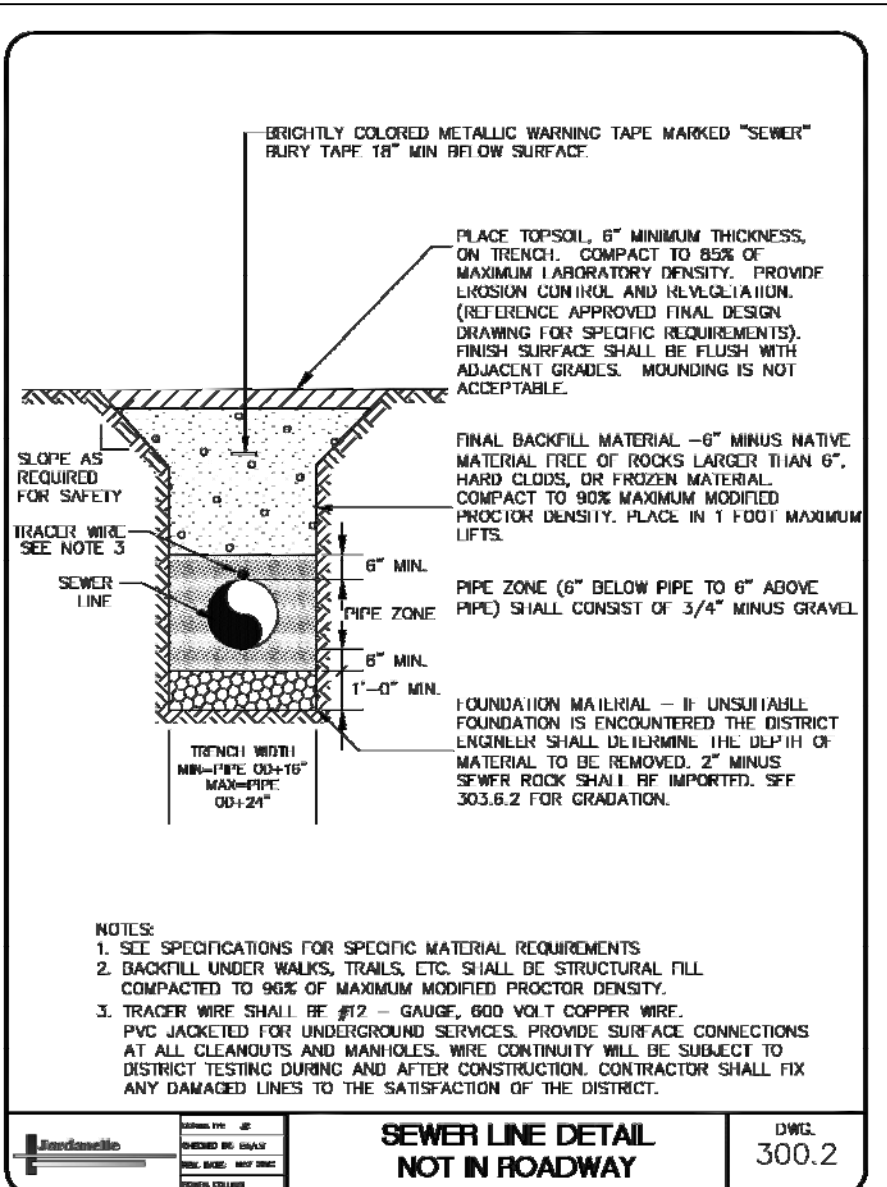
PRINT DATE: 2-29-20

HIDEOUT TOWN

REVIEW COPY  
PRELIMINARY  
NOT FOR CONSTRUCTION

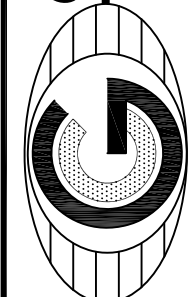
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[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	N/A

*O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050*



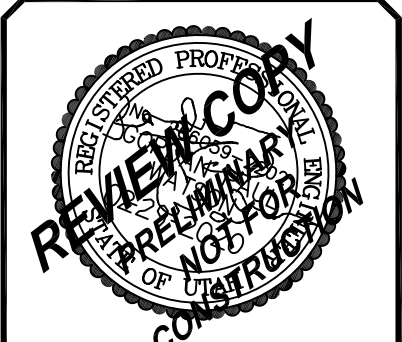
**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
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# Lakeview Estates

SEWER DETAILS

2-29-20

HIDEOUT  
TOWN

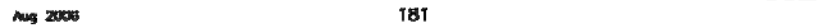
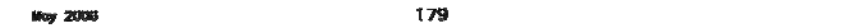
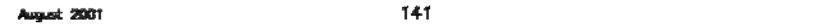
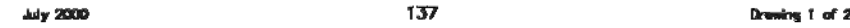
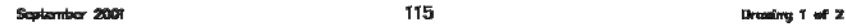


SHEET NO. D2









- 114

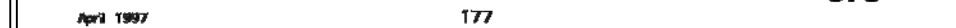
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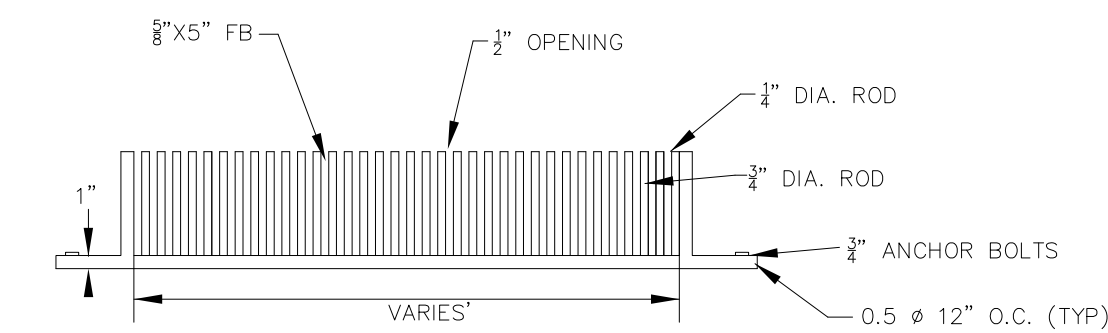
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- 184





ORIFICE OUTLET DETAIL

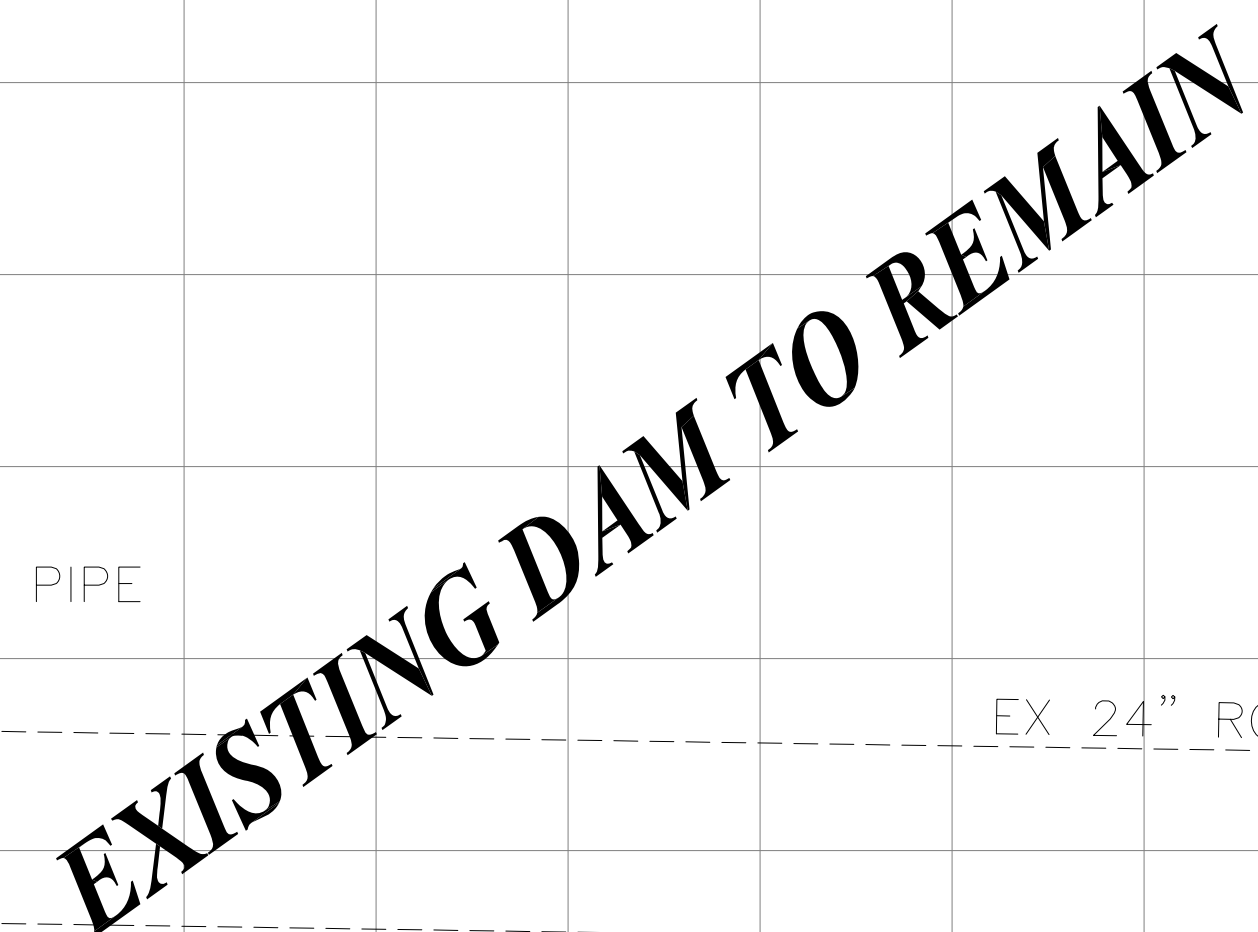
1/2" REDHEAD ANCOR(TYP)

36"x36"x3/8" STAINLESS STEEL PLATE


OPENING FOR 24" RCP

24" RCP

11.8" DIAM ORIFICE OPENING

[illegible]

ORIG DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=100'



**GATEWAY CONSULTING, Inc.**  
P.O. BOX 951005 SALT LAKE CITY, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
[paul@gatewayconsultingllc.com](mailto:paul@gatewayconsultingllc.com)

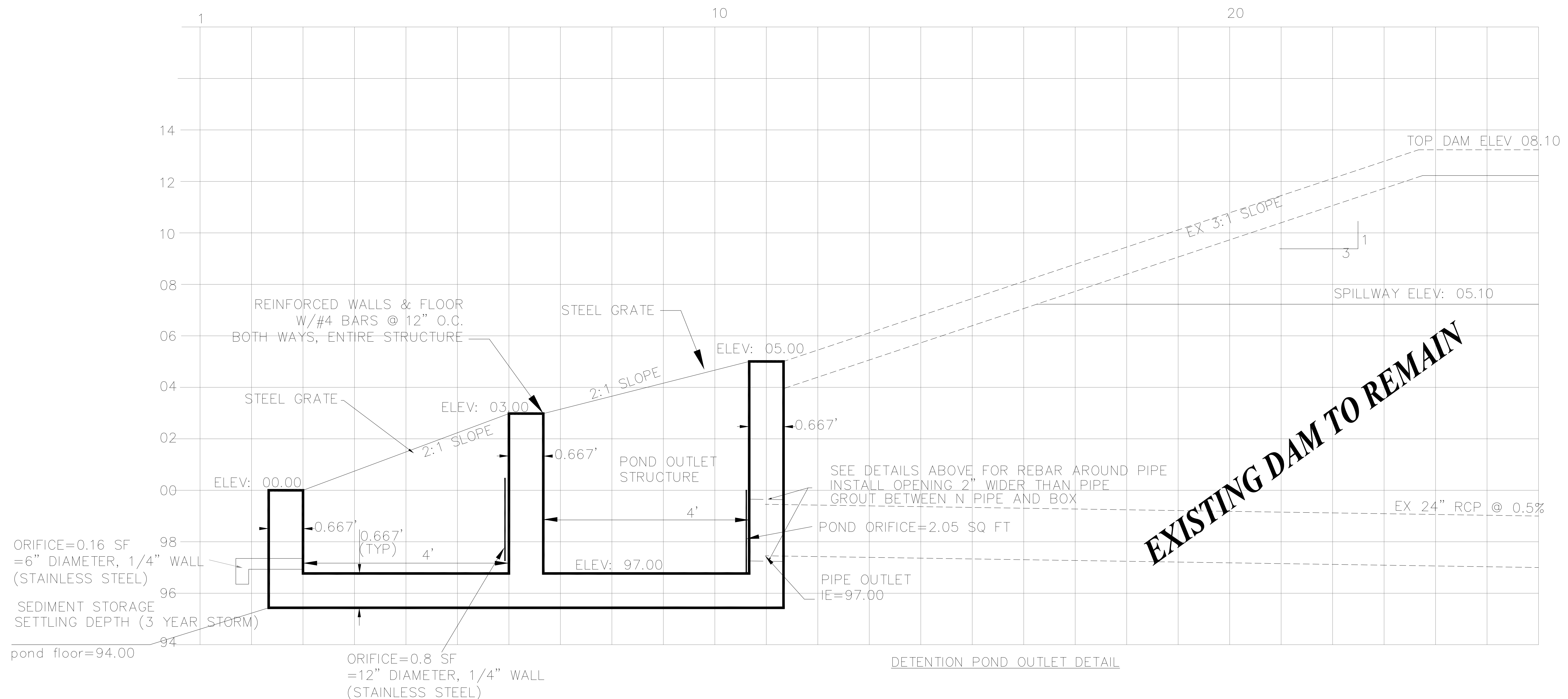
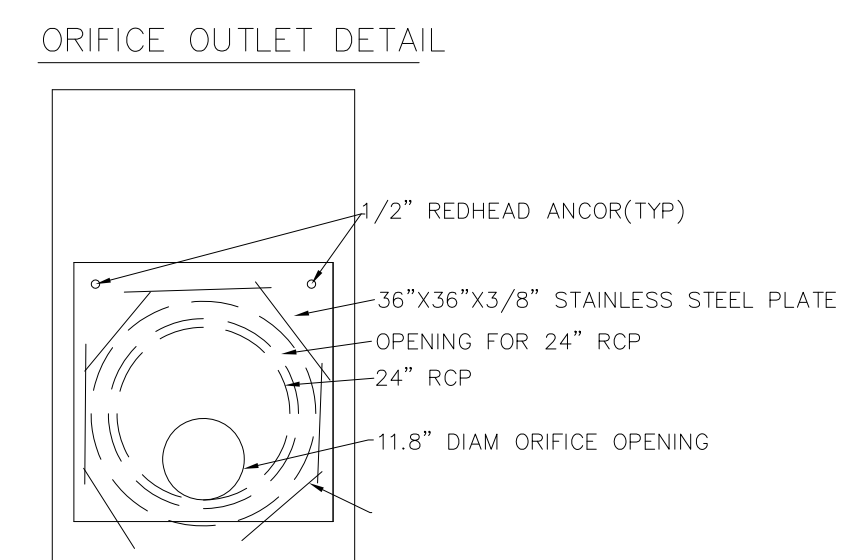
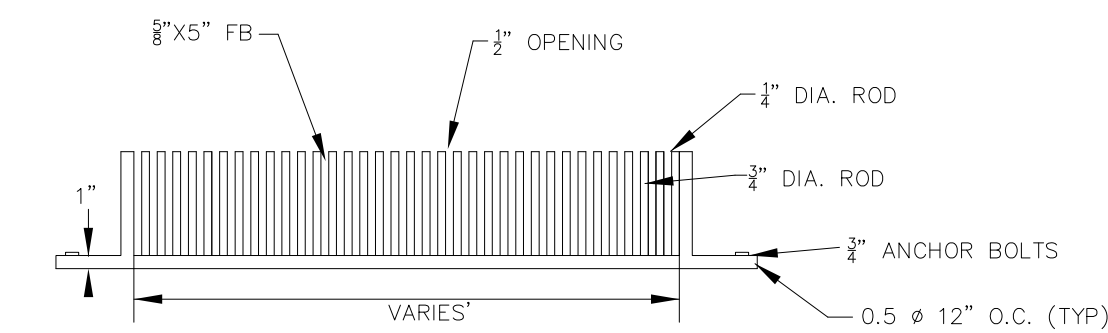
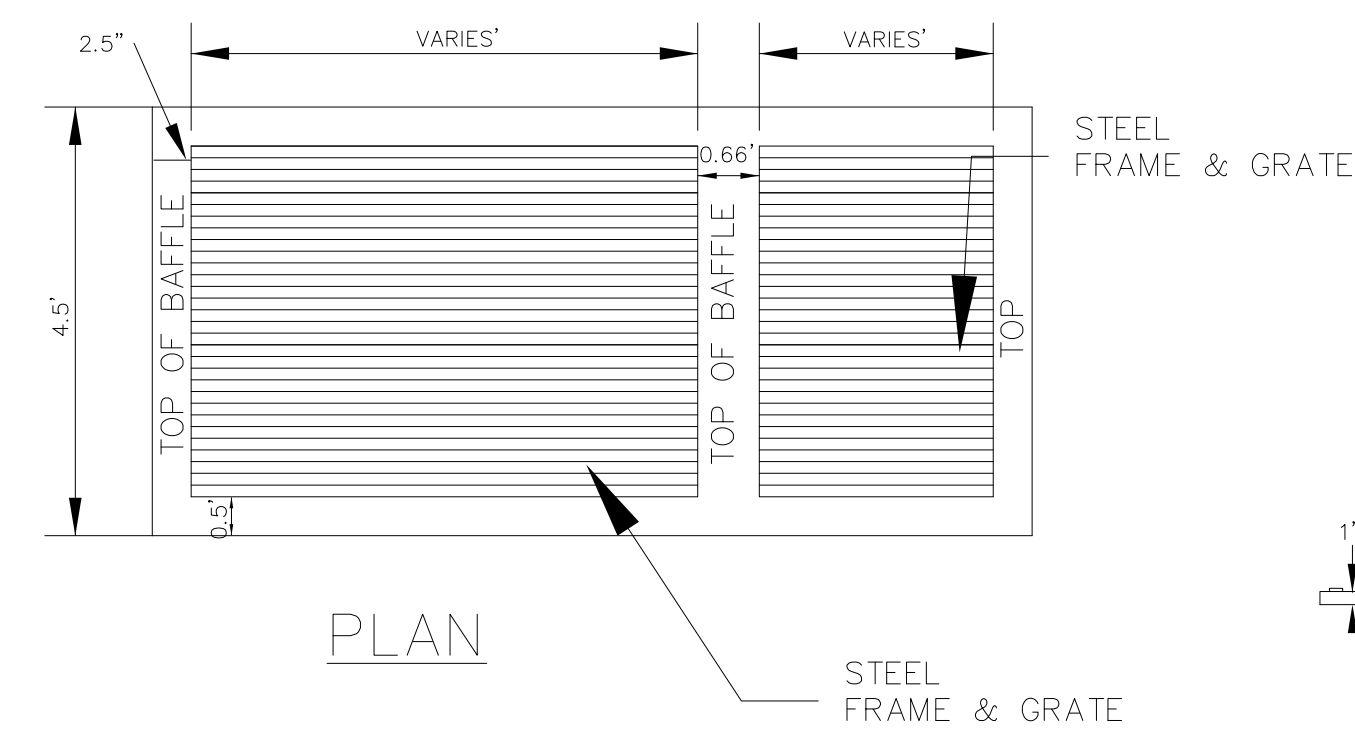
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CONSTRUCTION MANAGEMENT**

Lakeview Estates
DETENTION POND DETAILS
2-7-20
PLOT DATE:


HIDEOUT  
TOWN

SHEET NO. D5



[illegible]

ORIG DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"=100'



**GATEWAY CONSULTING, Inc.**  
P.O. BOX 957005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7150  
[psatl@gatewayconsultingllc.com](mailto:psatl@gatewayconsultingllc.com)

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CONSTRUCTION MANAGEMENT**

Lakeview Estates
DETENTION POND DETAILS
2-7-20
PLOT DATE:

HIDEOUT  
TOWN



SHEET NO. D6





## Staff Report

To: Hideout Town Council and Mayor Phil Rubin

From: Thomas Eddington Jr., AICP, ASLA  
Town Planner

Re: Preliminary Plat for Lake View Estates

Date: March 16, 2020

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*Submittals: The Application is dated 4 December 2019 and a subdivision plan set dated 29 February 2020. A revised subdivision design dated 10 May 2020 was submitted for review. The Planning Commission reviewed the Preliminary Subdivision and forwarded a positive recommendation on 19 March 2020.*

---

### **Overview of Current Site Conditions**

Land Area:	22.40 acres
Zoning:	Residential Medium Density (RMD)
MIDA:	This property is located within the MIDA boundary – Project Area 4
Proposed Uses:	Single-family dwellings, townhomes and duplexes, rights-of-way, utility infrastructure, trails and park space – all permitted per the Zoning Ordinance
Proposed Lots	69 Lots (from 70 originally proposed)
Density/Lot Size:	+/- 3 units per acre proposed
Required Setbacks:	Front: 20' Rear: 20' Side (distance between buildings): varies
Max Height:	42' maximum (3 ½ stories)
Open Space Requirement:	20% of area



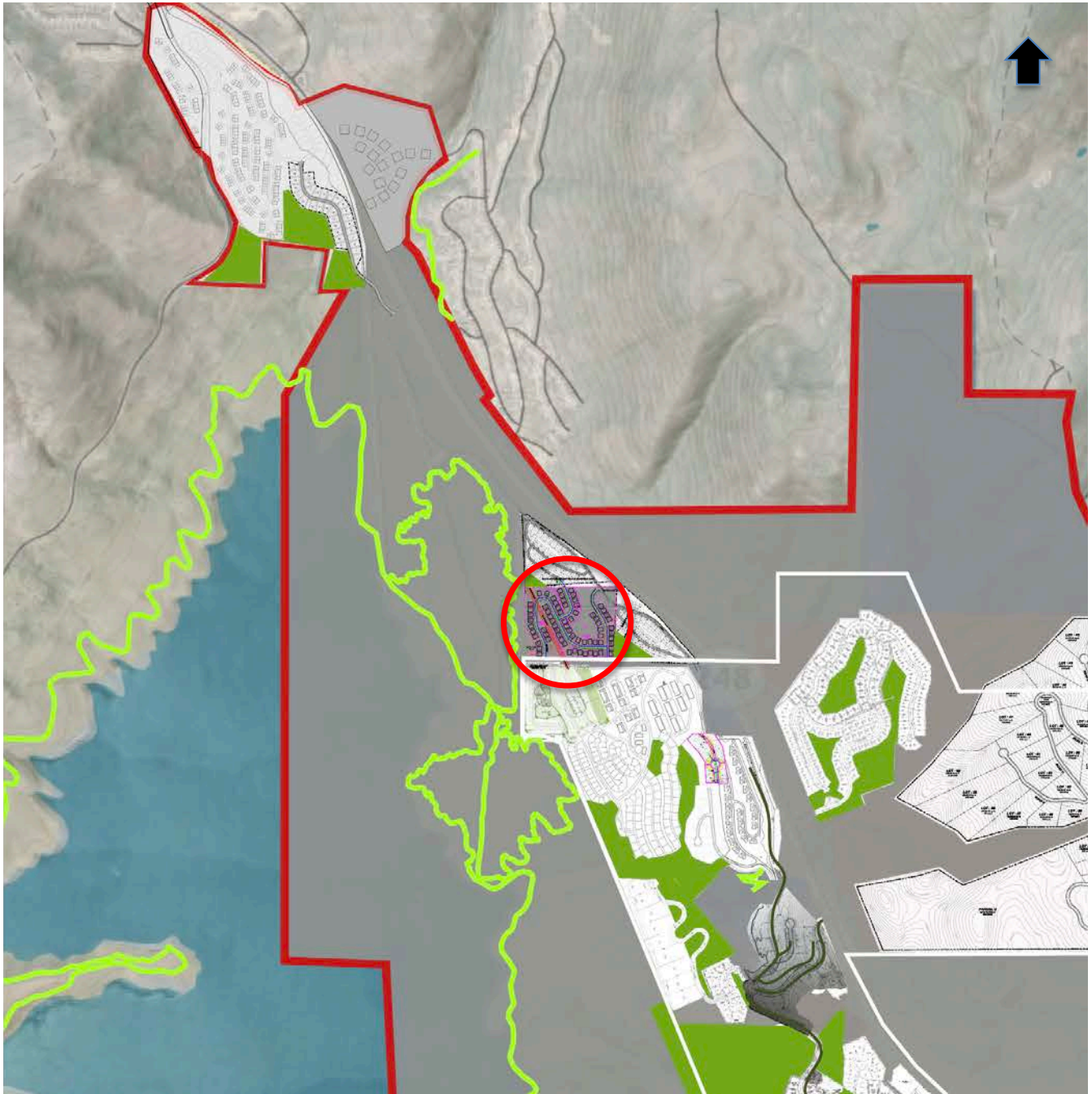








### Town Context - Proposed Development



- The proposed development is located south and west of Deer Waters (Phase 1 and 2) and north of Shoreline (Phase 2 & 3).





## **Proposed Updates or Conditions of Approval for Preliminary Subdivision Review by Town Council:**

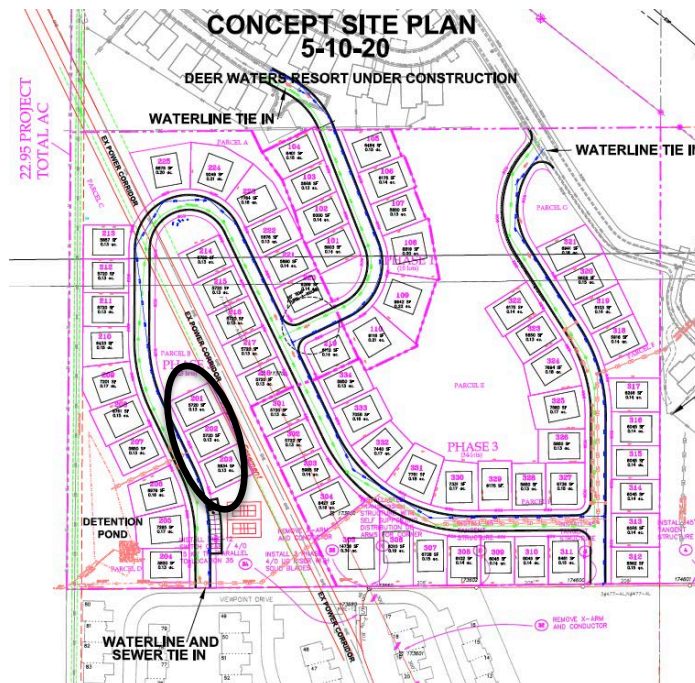
The Town Council held a public hearing on April 9, 2020 and required the Applicant to address the following concerns:

### **Reduced density**

The Applicant submitted a redesigned subdivision that increased open space areas and created a road network that better integrated within the challenging topography of the site.

The new design requires some input from the Town Council:

- The new design has almost exclusively uphill and downhill lots, no side slope lots (which are more challenging to build and more impactful to the landscape).
- Only one (1) lot was eliminated from the earlier submittal. There are three lots (circled in black) that could be eliminated to avoid the 'stacking' of four rows of highly dense housing up the slope that will result if they remain. In addition, these lots are located in the middle of the only accessible/usable open space area, dividing it into two smaller sections.





- The original plan included an average lot size = 70' x 98'
  - The new proposal has 65' x 98' lots
  - This equates to a building envelope of 45' wide x 58' deep
  - The Applicant is requesting a building envelope that is 50' wide x 63' deep
- The original Planning Commission approved plan set required a varied front setback of 30' (with some 25' setbacks)
  - The new proposal has 20' setbacks from back of curb and gutter (the *minimum* front yard setback for the RMD zone is 20' as measured from the back of curb and gutter).
  - The Town Council could consider a reduced rear yard setback to allow for a staggered building setback throughout the neighborhood. This would reduce the 20' rear yard setback to possibly 15' (or 18') to create the desired variation in the streetscape building wall.
- The original plan had 10' side yard setbacks
  - The new proposal has 7.5' side yard setbacks

#### **Increased vehicular connection to adjacent rights-of-way to the neighborhood to the south elimination of traffic hammerheads**

There are now four (4) connection points to ingress/egress the newly proposed neighborhood – including a much-needed connection to the neighborhood to the south. Additionally, the hammerheads have been removed from the plan. The Applicant must illustrate snow storage areas on site; these areas must be located outside of proposed Lot boundaries.

#### **Increased open space and contiguity and improved trail connectivity**

It appears the amount of contiguous open space has been increased but the Applicant must calculate this (in acres and as a percent of the total proposed subdivision area). The active open space area has been pushed downslope from Deer Waters Phase 2 to the area along the Public Utility Easement (PUE) that bisects the Lakeview Estates neighborhood. Confirmation is necessary regarding:

- What is proposed where the active open space (pickle ball courts) were originally located?
- How do residents in that area easily access this space? A stairwell should be considered in the location originally anticipated subdivision plan – between Lots 313 and 314 (as well as the newly proposed stairs between Lots 317 and 318).
- What is the proposed timing for the open space amenities?
- What is the extent of the dog wash? Is a building or canopy proposed?





- Trail typology (materials) must be included on the final set of plans. The trail under the powerlines, within the PUE, should be paved.

**Reduced number of retaining walls (with reduced heights)**

The Applicant confirmed the newly proposed subdivision plan reduced the number and size of the retaining walls. Based on the concept plan, the wall at the property line (service road) is about 10' high, the next one upslope is about 8' high, and the top two walls range from 6' to 10 high. The Applicant should provide sections of all proposed retaining walls. Additionally, proposed wall type, materials, should be provided.

**Detention basin – updated design and details to ensure a seamless relationship to the natural characteristics of the area**

The proposed retention basin is in the same location as originally envisioned however it appears to occupy less area. The Applicant must address the following issues:

- No embankment shall be greater than a 3:1 slope and no rock or concrete material may be used in the storm water basin.
- The natural storm water basin shall be planted with native vegetation.





#### Road Connections & Retaining Walls (11.06.105):

The proposed subdivision has only two (2) road connections to existing or previously approved rights-of-way in Hideout. Additional road connections are needed to link this proposed neighborhood to the one to the south – Shoreline (Phase 2).

The two interior dead-end roads proposed should be reconfigured as through-streets to enable additional connectivity within the neighborhood. There are safety concerns regarding traffic movements, driveway accesses at these locations, snow storage, etc.

Each of the retaining walls, as proposed, are 10' high and in some cases (e.g. between proposed lots 106 and 226) are stacked three (3) in a row equating to a 30' elevation change (or wall height). There are safety and aesthetic concerns with walls constructed heights greater than 10'-0". Section or elevation drawings should be provided (with proposed materials) for review by the Planning Commission.

#### Open Space and Trails (11.06.107):

The amount of open space must be a minimum of 20% of the total site (or 4.48 acres) and should be contiguous where possible. The proposed plan pushes the open space to the rear of all private lots rendering it challenging for the public to use. The proposed subdivision plan should be reconfigured to allow for more usable open spaces. Trails and/or other recreational amenities should be detailed and incorporated into the plan set.

The proposed 'manmade slopes' should be illustrated with proposed materials. Are these proposed to be shotcrete or riprap or gabion in design? If so, this should be redesigned (reduced slope) to ensure the use of native vegetation.

The design of the proposed storm water detention basins (including landscape plant materials) should be provided. Is the proposed concrete dam structure a feature proposed in each of the three basins? These three storm water basins should be removed from the 20% open space calculations given their use as infrastructure, not open space, to address drainage for the proposed neighborhood.

#### Sensitive Lands (11.06.117(O)):

All sensitive lands should be identified on the proposed subdivision plan – steep slopes, wetland areas, natural drainage ravines, poor soils, etc.







**From:** Sheri Jacobs <sherijacobs@me.com>  
**Date:** Wednesday, May 27, 2020 at 12:10 PM  
**To:** Kurt Shadle <kshadle@hideoututah.gov>  
**Subject:** Hideout development concerns

Hi Kurt,

We are sorry we won't be able to participate in the Hideout Town meeting on Thursday evening. We did however, wish to send you our thoughts on some concerns that we have about the development close to the Jordanelle down by the most recent phase of Shoreline Village.

We are all for development when done properly but we have also witnessed overdevelopment which is one of the reasons we moved here from Florida. We always thought Hideout was a special place dedicated to ensuring residents would build homes that fit well into the native environment - a town that would control density maintaining a delicate balance between development and nature. It seemed to be a very special place to live and we did understand that was why the DRC guidelines were so strict.

We knew when we purchased in Silver Sky that there would be a few single family homes to be built down below us but we were assured that the density would be kept to a minimum and height restrictions would never be in question. We purchased our home for the amazing views and the open spaces. Of course there would be more homes built but we always thought that the open spaces ration would be preserved here and it would not be one of those towns that would fall victim to over-development.

Recently, we have come to hear many rumors about increased density development proposals down by the Jordanelle and this concerns us greatly for several reasons:

- 1) Height restrictions and view preservation - we all had to live by these rules and new developers absolutely should too.
- 2) We are concerned about all these new developments where every building looks the same. Hideout is a unique town where the homes are all different but it still looks like they all belong. We would hate to see it fall victim to tract style housing. That kind of over-development would hurt everyone's views and property values.
- 3) One of the most important concerns with overdevelopment and too much density is the stress that it puts on the infrastructure. Can our sewer system really handle all that building? We have heard otherwise! What about the air quality, peace and quiet and increased traffic? Most importantly - how do all those people escape if God forbid there is a fire? There is only one road in and out.
- 4) Lastly, and this is about the current development? What is up with the construction noise on the road below Silver Sky starting before 7 a.m.?

Thank you for letting us air our concerns. We are happy to be a part of any future discussions.

Sheri & Jack Jacobs  
561-441-0802  
[sherijacobs@me.com](mailto:sherijacobs@me.com)



**File Attachments for Item:**

5. Discussion and possible adoption of an ordinance to amend the Town Council regular meeting schedule



## ORDINANCE #20-05

### AN ORDINANCE AMENDING TOWN CODE SECTION 1.10.050 (A) AND ESTABLISHING A REVISED 2020 REGULAR MEETING SCHEDULE FOR THE MEETINGS OF THE TOWN COUNCIL OF HIDEOUT UTAH

WHEREAS, pursuant to State law, each municipality shall, by ordinance, prescribe the time and location of its regular meetings; and

WHEREAS, the Town Council has determined to meet on the second and fourth Thursday of each month.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF HIDEOUT, UTAH, that Section 1.10.050 (A) of the Hideout Town Code is hereby amended to incorporate the following changes:

#### **1.10.050 MEETINGS; PROCEDURE AND CONDUCT**

A. Regular Meetings: The governing body shall conduct regular meetings, which shall be held on the second and fourth Thursday of each month at the Town Hall, which meetings shall begin promptly at six (6:00) P.M., provided that:

1. If the meeting date is a legal holiday, then the meeting shall be held at the same time and place above described on the next following day which is not a legal holiday.
2. The governing body may, by resolution provide for a different time and place for holding regular meetings of the governing body.
3. If any citizen or member of the governing body desires to have an item placed on the agenda for the regular meeting of the governing body, a description of the agenda item must be delivered to the Town Clerk no later than 5:00 p.m. on the Monday ten (10) days or more prior to the regularly scheduled meeting, and applicants must provide supporting content no later than 12:00 p.m. on the Thursday prior to the scheduled council meeting. If agenda items or materials supporting such agenda items are delivered after time set forth in this section, such agenda items will be placed on the agenda for the following regular meeting, unless a special meeting is held in the interim.

**SECTION I:** Repealer. If any provisions of the Town's Code heretofore adopted are inconsistent herewith, they are hereby repealed.

**SECTION II:** Severability. If any section, subsection, sentence, clause or phrase of this ordinance is declared invalid or unconstitutional by a court of competent jurisdiction, said portion shall be severed and such declaration shall not affect the validity of the remainder of this ordinance.



SECTION III: Effective Date. This Ordinance shall become effective immediately upon adoption by the Hideout Town Council and execution by the Town Mayor.

PASSED AND ADOPTED by the Town Council of Hideout, Utah, this 28<sup>th</sup> day of May 2020.

THE TOWN OF HIDEOUT

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Philip Rubin, Mayor

ATTEST:

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Allison Lutes, Town Clerk



**File Attachments for Item:**

6. Discussion regarding Town recycling efforts





# Recycling Discussion

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Town of Hideout

May 28, 2020





# Citizen Leadership

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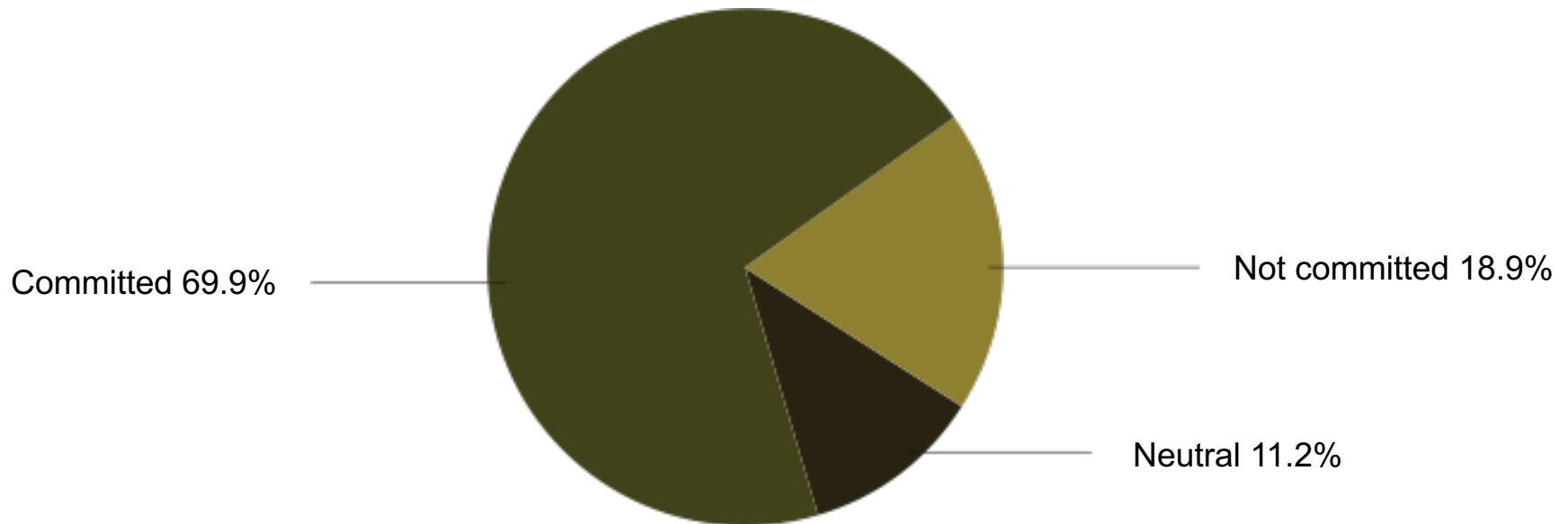
- Dori Schmalzle
- Jeff Schiff



# General Plan Survey Results

Currently, how committed would you say you are to recycling?

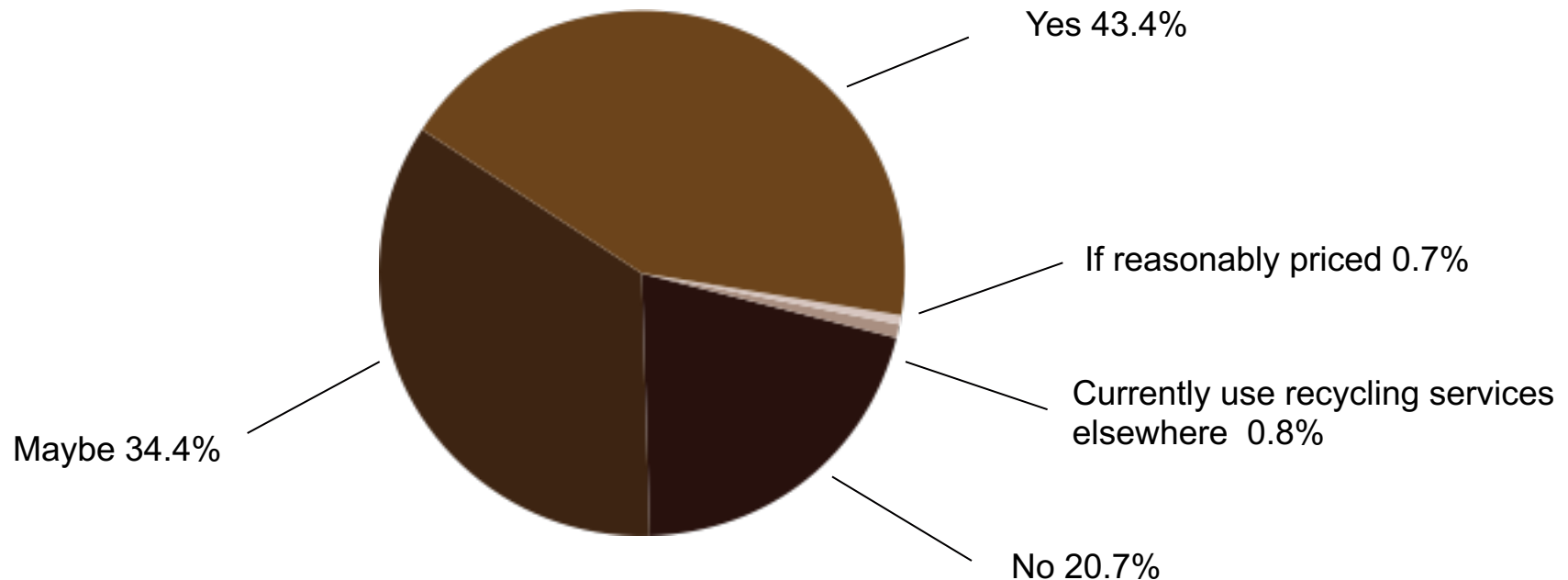
Committed – 100, Neutral – 16, Not Committed – 27



# General Plan Survey Results

Would you be willing to pay for a curbside recycling service?

Yes – 43%, Maybe – 35.1%, No – 21%







# Recycling Options

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- Negotiate Mandatory Town-wide Curbside Pick-up with Private Contractor
- Encourage Citizens to Privately Use Curbside Pick-up
- Encourage or Facilitate Citizens to Better Utilize the Recycle Utah facility located in Park City or Other Facility
- Do Nothing

# Status Quo – Do Nothing

- Goes Against the Recycling Mandate of the General Plan and the Overwhelming Sentiment of Town Residents







# Recycle Utah Center in Park City

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- The Park City Conservation Association d/b/a Recycle Utah is a Nonprofit, 501(c)(3) Organization Located at 951 Woodbine Way (off Kearns Blvd.)
- Recycle Utah accepts all major recyclables as well as many hard-to-recycle items.
- Critical Point: All items must be sorted before being dropped off at the center.



# Curbside Pick-up

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## Recycle Services of Utah (RSU)

- Pick-up Would Be Twice Monthly on Thursday (Same as Garbage)
- Recycling Would Be Commingled in the Container Supplied by RSU
- Acceptable Recycling Items Include:
  - Aluminum Cans, Trays & Foil
  - Steel Cans and Tin
  - Most Plastics including #1, #2, #3, #4, #5, #6 #7
  - Paper, newspaper, brown bags
  - Magazines, catalogs, books
- Unacceptable Items Include:
  - Glass
  - Styrofoam
  - Plastic bags



# RSU Curbside Pick-up

- Pricing: \$25 per Month with a \$25 Initial Set-up Fee for the Container
- Residents in Deer Mountain and Tuhaye currently use RSU
- Container Size – 96 Gallons - Same as Wasatch Garbage Can





# Curbside Pick-up

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## Recyclops

- Pick-up Would Be Twice Monthly on Thursday (Same as Garbage)
- Recycling Would Be Commingled in Clear Bags, Except Glass Which Would Be Separate
- Acceptable Recycling Items Include:
  - Aluminum Cans, Trays & Foil
  - Steel Cans and Tin
  - Most Plastics including #1, #2, #3, #4, #5, #6 #7
  - Paper, newspaper, brown bags
  - Magazines, catalogs, books
  - Glass
- Unacceptable Items Include:
  - Styrofoam



# Recyclops Curbside Pick-up

- Pricing: \$25 per Month or \$17 per Month Excluding Glass. \$24 Initial Set-up Fee. Container cost \$60. If mandatory town-wide, these costs would be lower.
- Residents in Deer Mountain and other areas of Wasatch County currently use Recyclops
- Plastic Bags or possibly Container. Size – 48 Gallons – Half the Size of Wasatch Garbage Can.



OR





# Comparison of Providers

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	<b>Republic</b>	<b>Recyclops</b>
<b>Company Size</b>	Large, Well Established	Smaller, More Recent Company
<b>Location</b>	Sorting Facility in Salt Lake	Sorting Facility in Heber
<b>Recycling Center Description</b>	Rocky Mountain Recycling, If Load Contains Too Much Non-recyclable Material It Will Be Sent to the Dump	Attempts to Reuse Inappropriately Recycled Items. Goal is Zero Waste.
<b>Trucks</b>	Large, Typical Garbage Truck Size	Smaller, Less Carbon Output. Local Contractors Used





# Next Steps

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- Decide Whether Recycling Shall Be Voluntary or Mandatory
- Decide Whether Town Will Select the More Established Company or the More Eco-Friendly Company
- If Eco-Friendly - Will Town Allow Plastic Bags at Curb or Will Town Require Purchase of Containers
- Will Town Subsidize Purchase of Containers